

**RESOLUTION 2018-22**

A RESOLUTION CONCERNING THE APPEAL OF A FINAL DECISION OF THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION DENYING THE APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA-17-797) AS REQUESTED BY VIRGINIA HARRIS, THE PROPERTY OWNER, TO APPROVE A REAR ADDITION AND THE RECONSTRUCTION OF THE GARAGE FOR THE PROPERTY LOCATED AT 1776 CHALLEN AVENUE IN THE RIVERSIDE-AVONDALE HISTORIC DISTRICT (R.E. NO. 078590-0000) (COUNCIL DISTRICT 14), PURSUANT TO CHAPTER 307 (HISTORIC PRESERVATION AND PROTECTION), PART 2 (APPELLATE PROCEDURE) *ORDINANCE CODE*; ADOPTING RECOMMENDED FINDINGS AND CONCLUSIONS OF THE LAND USE AND ZONING COMMITTEE; PROVIDING AN EFFECTIVE DATE.

**Record of the Proceedings  
Before the Jacksonville Historic  
Preservation Commission**

**LUZ APPEAL 2/22/18**

**Appeal Resolution Table of Contents**

Resolution.....1

Notice of Appeal filed by Appellant .....3

Speakers' names and addresses certified by staff secretary  
to the Commission .....7

**Jacksonville Historic Preservation Commission Proceedings:**

Applicable portion of transcript of the  
Historic Preservation Commission meeting August 23, 2017.....9

Applicable portion of transcript of the  
Historic Preservation Commission meeting November 15, 2017.....22

**Certificate of Appropriateness:**

Application for Appellant's Certificate of Appropriateness.....46

Order for Appellant's Certificate of Appropriateness.....48

Report of the Planning & Development Department  
for Appellant's COA.....59

**Evidence Submitted to the Jacksonville Historic Preservation  
Commission:**

Evidence presented by Planning Department Staff..78-128 & 130-179

Evidence presented by Appellant .....129

1 Introduced by the Land Use and Zoning Committee:

4 **RESOLUTION 2018-22**

5 A RESOLUTION CONCERNING THE APPEAL OF A FINAL  
6 DECISION OF THE JACKSONVILLE HISTORIC  
7 PRESERVATION COMMISSION DENYING THE  
8 APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
9 (COA-17-797) AS REQUESTED BY VIRGINIA HARRIS,  
10 THE PROPERTY OWNER, TO APPROVE A REAR ADDITION  
11 AND THE RECONSTRUCTION OF THE GARAGE FOR THE  
12 PROPERTY LOCATED AT 1776 CHALLEN AVENUE IN THE  
13 RIVERSIDE-AVONDALE HISTORIC DISTRICT (R.E. NO.  
14 078590-0000) (COUNCIL DISTRICT 14), PURSUANT  
15 TO CHAPTER 307 (HISTORIC PRESERVATION AND  
16 PROTECTION), PART 2 (APPELLATE PROCEDURE)  
17 ORDINANCE CODE; ADOPTING RECOMMENDED FINDINGS  
18 AND CONCLUSIONS OF THE LAND USE AND ZONING  
19 COMMITTEE; PROVIDING AN EFFECTIVE DATE.

21 **WHEREAS**, on August 1, 2017, Virginia Harris, the owner of the  
22 property located at 1776 Challen Avenue, R.E. No. 078590-0000  
23 ("Subject Property"), which is located in Council District 14,  
24 submitted an Application for a Certificate of Appropriateness (COA-  
25 17-797) for approval of a rear addition and the reconstruction of  
26 the garage; and

27 **WHEREAS**, after the public hearing on November 15, 2017, the  
28 Jacksonville Historic Preservation Commission ("JHPC") denied the  
29 request for the rear addition and the reconstruction of the garage,  
30 as fully set forth in the Order on COA-17-797 Denied ("Final  
31 Order"); and

1           **WHEREAS**, on December 18, 2017, pursuant to Section 307.201,  
2 *Ordinance Code*, the Appellant filed a Notice of Appeal, appealing  
3 the Final Order; and

4           **WHEREAS**, pursuant to Section 307.201, *Ordinance Code*, the  
5 Appellant filed the Notice of Appeal within 21 calendar days of the  
6 effective date of the Final Order; and

7           **WHEREAS**, pursuant to Section 307.202(a), *Ordinance Code*, the  
8 person who filed the application for certificate of appropriateness  
9 has standing to appeal; and

10           **WHEREAS**, the appeal was timely filed and the Appellant has  
11 standing to appeal; now therefore

12           **BE IT RESOLVED** by the Council of the City of Jacksonville:

13           **Section 1. Adoption of recommended findings and**  
14 **conclusions.** The Council has reviewed the record of proceedings  
15 for the appeal of the Final Order concerning Certificate of  
16 Appropriateness COA-17-797, requesting the construction of a rear  
17 addition and the reconstruction of the garage. The record of  
18 proceedings is **on file** in the City Council Legislative Services  
19 Division and the Planning and Development Department. After  
20 reviewing the record of proceedings, the recommended findings and  
21 conclusions of the Land Use and Zoning Committee are hereby adopted  
22 by the Council and shall become effective immediately. This  
23 Resolution is the final action of the Council.

24           **Section 2. Effective Date.** The adoption of this  
25 Resolution shall be deemed to constitute a quasi-judicial action of  
26 the City Council and shall become effective upon the signature by  
27 the Council President and Council Secretary.

28 Form Approved:

29  
30                     /s/ Sondra R. Fetner            
31 Office of General Counsel  
32 Legislation Prepared by: Sondra R. Fetner  
33 GC-#1179506-v1A-COA-17-797\_Appeal.doc

DATE AND TIME STAMP

**NOTICE OF APPEAL OF A  
JACKSONVILLE HISTORIC PRESERVATION COMMISSION  
CERTIFICATE OF APPROPRIATENESS**

2017 DEC 18 PM 4:26

**I. INSTRUCTIONS**

As provided in §307.201, Ordinance Code, any person with standing may appeal a Jacksonville Historic Preservation Commission final order on an application for a Certificate of Appropriateness to the City Council. An appeal must be filed **within 21 calendar days** of the effective date of the final order granting, granting with conditions, or denying a Certificate of Appropriateness. To appeal a Commission final order on an application for a Certificate of Appropriateness, complete and submit this form to the Legislative Services Division, Suite 430, City Hall-St. James, 117 W. Duval Street, Jacksonville, Florida 32202 with the supporting documents (*see* Section III) and appropriate fees (*see* Section IV). A copy of the final order and the list of persons who testified before or wrote to the Commission about the Certificate (*see* Sec. III(1) and (4)) may be obtained from the Historic Preservation Section of the Planning and Development Department, 3<sup>rd</sup> Floor, Ed Ball Building, 214 North Hogan Street, Jacksonville, Florida 32202.

**II. NOTICE OF APPEAL**

I, Virginia Harris, hereby file this Notice of Appeal from the final order of  
 PRINT NAME CLEARLY  
 the Jacksonville Historic Preservation Commission concerning Certificate of Appropriateness Number 17-797. I

am (Please circle one):

- (a) The person who filed the application for the Certificate of Appropriateness;
- (b) A person who owns, lives, or operates a business on property within 350 feet of the property which has been granted or denied the Certificate of Appropriateness;
- (c) A person, other than a member of the City Council, who provided a written statement or who testified before the Historic Preservation Commission *and* who is suffering or will suffer an adverse effect to an interest protected or furthered by Chapter 307, Ordinance Code. The statement must have been in writing, expressing a position on the merits of the application, other than a petition, such as a letter, a memo or an e-mail, containing a reference to the specific application number and the name and mailing address of the person making the statement. The statement must have been specifically addressed to the Chief of the Comprehensive Planning Division or any member of the historic preservation staff or the Commission, with a copy to the Chief of the Comprehensive Planning Division, and which was delivered to and received by the Department by hand delivery, mail, facsimile or e-mail at least two working days prior to the public hearing at which the Commission took final action, or which is read into the record at the public hearing or distributed to the Commission at the hearing with a copy to the staff secretary.

**III. SUPPORTING DOCUMENTS**

To complete your Notice of Appeal, you **must** submit the following documents with this form:

- (1) A copy of the Final Order on the Certificate of Appropriateness you are appealing.
- (2) You must provide a statement of your interest sufficient to show how you are or will be *adversely* affected by the Commission's decision. Please provide this statement in the space below.

I am the owner of the real estate. I filed the COA. The denial of the COA adversely affects my property rights.

If you need additional space, please attach a separate sheet.

(3) A description of the specific error(s) you believe the Commission committed. Please provide this description in the space below.

The Commission failed to follow the criteria based upon the record, competent, substantial evidence.

If you need additional space, please attach a separate sheet.

(4) The list of the persons (complete names and mailing addresses), certified by the staff secretary to the Commission, who testified before, or who provided a qualified written statement to the Commission the Commission regarding the subject of the appeal. (You must pay a \$2.00 notification fee for each person on the list.)

**IV. FILING AND NOTIFICATION FEES**

Section 307.203, Ordinance Code, requires persons appealing Final Orders on Certificates of Appropriateness to pay filing and notification fees. These fees must be paid at the time your Notice of Appeal is filed with the Legislative Services Division or your Appeal will not be accepted. You may include the filing and notification fees in one payment. Make checks payable to TAX COLLECTOR.

**Filing Fee:** \$550.00

**Notification Fee:** \$2.00 for each notification.

**V. Contact Information**

Please complete the following:

**Name (Printed):** Virginia Harris

**Address:** 1776 Challen Ave.  
Jacksonville, FL 32205

**Daytime Phone Number:** 904-349-3221

**Evening Phone Number:** \_\_\_\_\_

**E-mail address:** gingerpdco@gmail.com

**VI. CERTIFICATION**

Please read, sign and date the following statement:

I have read and understand the information contained in this Notice of Appeal. I hereby certify that I have provided all the information required under §307.203, Ordinance Code, I understand that if this Notice of Appeal is incomplete, my appeal will not processed until it is complete, and that it may be rejected for incompleteness. I further certify that all my statements in this Notice of Appeal are true and correct to the best of my knowledge.

Virginia Harris  
Signature

12-18-17  
Date

**Duval County, City Of Jacksonville**  
**Michael Corrigan, Tax Collector**  
 231 E. Forsyth Street  
 Jacksonville, FL 32202

**General Collection Receipt**

Account No: CR438461

Date: 12/19/2017

User: Matthews, Jessica

Email: JMatthews@coj.net

Generic CR

Name: LEGISLATIVE SERVICES DIVISION  
 Address: 117 WEST DUVAL STREET, SUITE 430 JACKSONVILLE, FL 32258  
 Description: RECEIVED CHECK # 1818 IN AMOUNT OF \$594.00 ON 12/18/17 FOR  
 JACKSONVILLE HISTORIC PRESERVATION APPEAL RE COA 17-797, RECEIVED FROM  
 VIRGINIA HARRIS(G. HARRIS ENTERPRISE, INC.)

TranCode	IndexCode	SubObject	GLAcct	SubsidNo	UserCode	Project	ProjectDtl	Grant	GrantDtl	DocNo	Amount
701	CCSS011AD	36907									594.00

Michael Corrigan, Tax Collector  
 Duval County/City of Jacksonville  
 Comments - taxcollector@coj.net  
 Inquiries - (904)630-1916  
 www.coj.net/tc  
 Date: 12/19/2017 Time: 08:42:49  
 Location: P13 Clerk: CYW  
 Transaction 0756498

**Total Due: \$594.00**

Miscellaneous	
Item: CR - CR438461	
Receipt 0756498.0001-0001	594.00
<b>Total Paid</b>	<b>594.00</b>
CHECK 001818	594.00
<b>Total Tendered</b>	<b>594.00</b>

Paid By: G. HARRIS ENTERPRISE I  
 Thank You

G. Harris Enterprise, Inc.  
1776 Challen Ave.  
Jacksonville, FL 32205

1818

63-1392/630

PAY TO THE ORDER OF

DATE 12/18/17

TAX Collector

five hundred + Ninety Four Dollars

\$ 594.<sup>00</sup>

BBVA Compass  
Compass Bank  
Jacksonville, Florida

DOLLARS



FOR COA 17-797

Virginia Harris

**RECEIPT**

DATE 12/18/17

No. 284605

RECEIVED FROM Virginia Harris G. Harris Enterprise, Inc.

\$ 594.<sup>00</sup>

five hundred + ninety four dollars

DOLLARS

FOR RENT

FOR

Appeal COA 17-797

ACCOUNT

PAYMENT

BAL DUE

594.00  
0.00

CASH

CHECK

MONEY ORDER

CREDIT CARD

1818

FROM Virginia Harris TO Tax Collector

BY Adri Maguire Segui



# City of Jacksonville, Florida



ONE CITY. ONE JACKSONVILLE.

*Lenny Curry, Mayor*

City Hall at St. James  
117 W. Duval St.  
Jacksonville, FL 32202  
(904) 630-CITY  
[www.coj.net](http://www.coj.net)

**Appeal to the City Council for Certificate of Appropriateness Application, COA-17-797.  
1776 Challen Avenue.**

**Appellant  
Ginger Harris  
1776 Challen Avenue,  
Jacksonville, FL 32205**

I hereby certify that the list below are true and accurate copies of the complete names and mailing addresses of any and all persons who either provided a written statement, testified according to the minutes or provided speaker cards to testify before the Jacksonville Historic Preservation Commission on or before August 23, 2017 & November 15, 2017 regarding Application COA-17-797.

Christian Popoli  
City Planner Supervisor  
Planning and Development Department  
214 North Hogan Street, Suite 300  
Jacksonville, Florida 32202  
(904) 255-7852  
[cpopoli@coj.net](mailto:cpopoli@coj.net)

CP/SF  
Enclosures

## COA-17-797 Speakers/Emails (August 23, 2017 and November 15, 2017 JHPC Meetings)

<b>Name</b>	<b>Address</b>
Adrienne Burke	2623 Herschel Street, Jacksonville, FL 32204
Ben Johnson	4216 Beverly Avenue, Jacksonville, FL 32210
Carl Kenna	1346 Azalea Drive, Jacksonville, FL 32205
Carlos Maza	3018 Oak Street, Jacksonville, FL 32205
David Foster	3331 St. Johns Avenue, Jacksonville, FL 32205
David Rinzler	6944 St. Augustine Road, Jacksonville, FL 32217
David Shacter	1334 Walnut Street, Jacksonville, Florida
David Stone	912 West Fairbanks Avenue, Winter Park, FL 32789
Deborah Mackeny	1769 Glendale Street, Jacksonville, FL 32205
Dwayne Holden	2064 Herschel Street - #105, Jacksonville, FL 32204
Ginger Harris	1776 Challen Avenue, Jacksonville, FL 32205
James Buchholz	1786 Challen Avenue, Jacksonville, FL 32205
Joe R. Miller	1744 Challen Avenue, Jacksonville, FL 32205
John Gallagher	3418 Riverside Avenue, Jacksonville, FL 32208
Josh Henry	3420 St. Johns Avenue, Jacksonville, FL 32205
Karma Harris	1776 Challen Avenue, Jacksonville, FL 32205
Keith Holt	1804 Avondale Circle, Jacksonville, FL 32205
Phil Kean	912 West Fairbanks Avenue, Winter Park, FL 32789
Randy Rambo	3333 Riverside Avenue, Jacksonville, FL 32205
Rick Beaver	3338 Riverside Avenue, Jacksonville, FL 32205
Steve Waters	3579 Riverside Avenue, Jacksonville, FL 32205
William Wells	1380 Talbot Avenue, Jacksonville, FL 32205

**August 23, 2017 - Minutes**

Searcy Dannheim, Chairwoman  
 Jack C. Demetree, III, Commission Member  
 Ryan P. Davis, Commission Member  
 Andres Lopera, Commission Member  
 David B Case, Commission Member  
 Maiju Stansel, Commission Member

**November 15, 2017 - Minutes**

Searcy Carr Dannheim, Chairwoman  
 Andres Lopera, Commission Member  
 Jack C. Demetree, III, Commission Member  
 Ryan P. Davis, Commission Member  
 Erik Kasper, Commission Member

1 material for the gate, I'd be okay with a  
2 6-foot gate.

3 COMMISSIONER CASE: Through the Chair, I'm  
4 very nervous about doing anything other than  
5 what the fence regulations call for because  
6 it's going to be setting a precedent that is  
7 going to allow others to deviate from our  
8 standards and our regulations.

9 So I would not be in favor of approving  
10 anything other than what we have already  
11 approved and is already part of the fence  
12 regulations and the overlay, regardless of the  
13 material.

14 THE CHAIRMAN: So should we restate the  
15 motion?

16 MS. FETNER: I don't believe you have to.  
17 You can just call the question.

18 THE CHAIRMAN: Okay. So we will take a  
19 vote on the motion to approve COA-17-477 with  
20 the conditions of the staff report.

21 All those in favor?

22 COMMISSION MEMBERS: Aye.

23 THE CHAIRMAN: Those opposed?

24 COMMISSION MEMBERS: (No response.)

25 THE CHAIRMAN: Okay. With that, the  
Diane M. Tropa, Inc., P.O. Box 2375, Jacksonville, FL 32203  
(904) 821-0300

1 motion carries. The COA-17-477 is adopted with  
2 recommendations and conditions of the staff  
3 report.

4 The next item is -- well, there are no  
5 condemned or historic designations, so we are  
6 going to move on to the general COAs,  
7 certificates of appropriateness, beginning with  
8 COA-17-678, 3723 Park Street. The request is  
9 for demolition. And do we do ex parte now or?

10 MS. FETNER: No. This request has been --  
11 there's been a request to withdraw this item.

12 THE CHAIRMAN: Okay.

13 MS. FETNER: So it's withdrawn.

14 THE CHAIRMAN: Okay. So this is off  
15 completely?

16 MS. FETNER: Yeah.

17 COMMISSIONER CASE: Call for a motion to  
18 withdraw.

19 MS. FETNER: Through the Chair, you don't  
20 need a motion to withdraw.

21 THE CHAIRMAN: So -- okay. Never mind.  
22 Number 2, COA-17-797, 1776 Challen Avenue.  
23 Do we have a --

24 MS. MULLINS: Yes, we have a staff report.

25 So the property is located at 1776 Challen  
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(904) 821-0300

1 Avenue. You can see on your map it's on the  
2 corner of Challen and Riverside, where  
3 Riverside and Oak split, a very visible corner  
4 location. Here is a close-up with a Sanborn  
5 map. As you can see, it's very unique even  
6 from the floor plan situation.

7 These are some older photos of the house.  
8 The structure was actually a local landmark  
9 before the district was in place, so it was  
10 pretty significant. It's not only a  
11 contributing structure to the district; it's  
12 also a local landmark. And as you can see,  
13 these are just older photos.

14 If you notice -- you might notice on the  
15 left of the parapet, the Mission-style parapet,  
16 there's not a tower. Currently, there is. A  
17 year or two after the building was built, the  
18 tower was built by the homeowners for a -- as  
19 you can see, here's the photo of the house now  
20 with the tower on the left.

21 The tower was built for a very famous  
22 actor and singer, Elsie Janis, who was a family  
23 member. So this house really does have a lot  
24 of significance locally, and also  
25 architecturally, it's a very significant

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1 Mission-style structure. As you can see, the  
2 parapet is very traditional, Mission style.

3 And here is the location. As you can see  
4 on the left of this picture, this is where  
5 Riverside and Oak split, so it is on this very  
6 prominent, very beautiful corner lot. Here's  
7 the -- some pictures of the house as it is now.  
8 As you can see, this is from right on the --  
9 I'm standing right on the corner of the lot.

10 And this is -- I wish my -- this is a  
11 Riverside-Avondale elevation, a lot of tree  
12 coverage; she's got some landscaping, so -- and  
13 then this is the same elevation, just a  
14 different view.

15 And then here, as you can see, there is  
16 the historic garage. So the request is to  
17 demolish the historic garage -- it is in  
18 deteriorated condition -- and reconstruct it as  
19 part of a rear addition. So the garage will be  
20 attached now to this rear addition.

21 So here's another view of the house.  
22 Here's the existing proposed site plans. The  
23 addition will be attached at the rear, will  
24 follow the rear property line and will have  
25 almost like a little courtyard in the middle.

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1 So it will kind of wrap around, but it will not  
2 be attached along that Riverside-Avondale  
3 elevation. So here is -- as you can see, the  
4 top elevation is the existing; the below is the  
5 proposed.

6 So staff recommendation is denial due to  
7 the massive height of the addition. As you can  
8 see, the addition is taller than even the tower  
9 that was the historic tower and is much taller  
10 than the parapet wall. It is staff's opinion  
11 that once this addition is installed, that  
12 parapet feature will be lost to the addition.  
13 It won't be as prominent, which is one of the  
14 key character-defining features of Mission  
15 style. So that's the reason why it's not.  
16 And, you know, it is a landmark structure. The  
17 integrity of the style will be compromised due  
18 to the addition.

19 And here are some -- and this is the  
20 existing and proposed rear elevation. And then  
21 here is the -- the plans are -- do say "left"  
22 when it's really "right," so I just corrected  
23 that here. So the top, that's the existing  
24 right elevation which faces Riverside-Avondale.  
25 This will be the new proposed. You see where

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1 the garage is. They're reconstructing the  
2 garage. They're just attaching it to the  
3 addition and moving it forward slightly on  
4 Riverside-Avondale.

5 And then here's the left addition that  
6 is -- and the left addition is extremely close  
7 to the multi-family to the left of the house.  
8 So there's not much visibility on the left  
9 elevation. And then here's some floor plans.

10 I would love to answer any questions.

11 THE CHAIRMAN: Okay. Does anybody have  
12 any ex parte communication to declare at this  
13 point in time?

14 COMMISSION MEMBERS: (No response.)

15 THE CHAIRMAN: Hearing none, so we'll --  
16 do we ask questions of the staff first?

17 MS. FETNER: Unless anyone on the board  
18 has a question related to the -- specifically  
19 directed to the report that was given, I would  
20 suggest opening the public hearing and allowing  
21 the applicant to speak and then any other  
22 speakers who have submitted cards on this item.

23 MS. MULLINS: Oh, you do have -- sorry to  
24 interrupt. Through the Chair, there is an  
25 e-mail in front of you from a neighbor in

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1 opposition. I believe the neighbor is in the  
2 audience as well.

3 AUDIENCE MEMBER: There are two neighbors  
4 who object.

5 THE CHAIRMAN: Okay.

6 MS. FETNER: Open the public hearing.

7 THE CHAIRMAN: Okay. We will open the  
8 public hearing on this item and let the  
9 applicant come forward, please.

10 (Audience member approaches the podium.)

11 MS. BLAKE: Sir, if you would please step  
12 to the microphone, state your name and address  
13 for the record.

14 AUDIENCE MEMBER: My name is David  
15 Rinzler. My address is 6944 St. Augustine  
16 Road, Jacksonville, Florida 32217.

17 MS. BLAKE: Would you raise your right  
18 hand, please.

19 MR. RINZLER: (Complies.)

20 MS. BLAKE: Do you affirm that the  
21 testimony you're about to give is the truth,  
22 the whole truth, and nothing but the truth?

23 MR. RINZLER: I do.

24 MS. BLAKE: Thank you.

25 MR. RINZLER: As I stated, my name is  
Diane M. Tropia, Inc., P.O. Box 2375, Jacksonville, FL 32203  
(904) 821-0300

1 David Rinzler. I'm a building contractor in  
2 Jacksonville. My company's been in business in  
3 Jacksonville for a little over 40 years. I am  
4 going to be the contractor of record to do the  
5 addition to the Harris residence.

6 I first want to say that the elevation  
7 that's being shown, that shows the second-story  
8 version making the parapet virtually disappear,  
9 is not correct in the way that it's being  
10 depicted here. You're looking at a  
11 two-dimensional drawing as if you were standing  
12 12 feet in the air looking straight at the  
13 building.

14 You'll be able to see, with some visual  
15 aids that we have brought with us, that that is  
16 really not a correct interpretation of the new  
17 addition. The architectural team that did the  
18 architecture is here to make a presentation  
19 also. The --

20 THE CHAIRMAN: Excuse me. So you've read  
21 the staff report? I just forgot to ask you.

22 MR. RINZLER: I have, yes.

23 THE CHAIRMAN: Okay.

24 MR. RINZLER: I have it in my hand as a  
25 matter of fact, and I'm going to make some

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1 reference to that if that's okay.  
2 THE CHAIRMAN: Absolutely. Please  
3 continue.

4 MR. RINZLER: Some of the staff report  
5 information that's written is not exactly  
6 correct. Some of the square footages are not  
7 exactly as they are. They've taken some  
8 liberty with adding a garage to the addition  
9 and adding the square footage up and then  
10 leaving the garage out of the existing square  
11 footage, but that's not really that important.

12 The staff report suggests that we're going  
13 to use just standard CMU block for the  
14 addition, which is not the case. CMU is a  
15 construction term that we're using on the  
16 plans. The new addition will be constructed of  
17 the exact materials, like-kind materials that  
18 the existing structure is made out of. You  
19 cannot buy coquina like it's built out of now,  
20 but it will be similar to the addition that was  
21 made to the residence 15 years ago in terms of  
22 the -- there's some columns that were built  
23 along the Challen Avenue and Riverside to build  
24 a fence, and those simulate the existing  
25 building very well. And that's what we plan to

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1 use.  
2 It states that the entire facade of the  
3 addition is visible from that corner where  
4 the -- of Challen and Riverside. And again,  
5 with the visual aids which we'll show you in  
6 just a few minutes, you'll see that very little  
7 of it is visible from that corner at all. The  
8 owner has taken great care of the house as  
9 she's owned it, has spent a lot of time, effort  
10 and money to restore the house over the years,  
11 and the addition -- the proposed addition will  
12 have the same thought and the same character as  
13 the existing structure.

14 I think we have a great presentation here,  
15 and I would like for you guys to see all that.

16 Any questions for me?

17 THE CHAIRMAN: Any questions?

18 COMMISSIONER LOPERA: Not yet.

19 MR. RINZLER: Okay. Thank you.

20 MS. BLAKE: Right on time.

21 AUDIENCE MEMBER: Is this the appropriate  
22 time to pass out some graphics to each of you?

23 MS. MULLINS: Gloria.

24 AUDIENCE MEMBER: And is there a way that  
25 I can plug something in and show a little

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(904) 821-0300

1 presentation for you guys? Is that possible?

2 MS. MULLINS: It is possible, but you  
3 should have done this ahead of time.

4 AUDIENCE MEMBER: We're from Winter Park,  
5 so...

6 AUDIENCE MEMBER: Thank you for bearing  
7 with us for just a second.

8 MS. BLAKE: Sir?

9 AUDIENCE MEMBER: Yes?

10 MS. BLAKE: If you'll give me your name.

11 AUDIENCE MEMBER: Yes. David Stone.

12 MS. BLAKE: Wait a minute. I just want to  
13 get your cards ready.

14 MR. STONE: Okay. Yes. David Stone, Phil  
15 Kean Design Group, and this is Phil Kean behind  
16 me.

17 MS. BLAKE: All right. I just want to  
18 keep this thing in order.

19 MR. STONE: Thank you very much.

20 MS. BLAKE: All right. Blair, let me know  
21 when you're ready. You know, technology does  
22 not like to support us sometimes. So if you  
23 guys will be patient with us, we'd appreciate  
24 that.

25 MR. STONE: Definitely.

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1 MS. FETNER: Through the Chair, I put a  
2 copy of what was submitted to the Commission  
3 right here by Lisa's desk in case anyone in the  
4 public wanted to see it.

5 MR. STONE: Yeah, it's what we're going to  
6 bring up. We just wanted to give everybody the  
7 opportunity.

8 THE CHAIRMAN: Thank you.

9 MS. BLAKE: Sir, in the essence of time,  
10 if you can state your name and address, we can  
11 take care of a few housekeeping rules here.

12 MR. STONE: Yes. So my name is David  
13 Stone. I work at 912 West Fairbanks Avenue,  
14 Winter Park, Florida, and I am part of Phil  
15 Kean Design Group.

16 MS. BLAKE: If you'll raise your right  
17 hand, please.

18 MR. STONE: (Complies.)

19 MS. BLAKE: Do you affirm that the  
20 testimony you're about to give is the truth,  
21 the whole truth, and nothing but the truth?

22 MR. STONE: Yes, ma'am.

23 MS. BLAKE: Okay.

24 MR. STONE: So I'll go ahead and just get  
25 started a little bit for you guys while she

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1 pulls that up, hopefully.  
 2 No?  
 3 MS. MULLINS: Yeah, I mean, there's not  
 4 enough space on any of our drives.  
 5 MR. STONE: Okay. Yeah. Let me just open  
 6 it up over here. Hold on.  
 7 So that's fine. I'll do it here. And  
 8 I'll just show you guys from here, if you don't  
 9 mind me getting fairly close.  
 10 COMMISSIONER DAVIS: That's fine.  
 11 MS. BLAKE: There's just a lot of wires up  
 12 there, and we would not want you to --  
 13 MS. MULLINS: Maybe we can just kind of  
 14 take a break for five minutes.  
 15 THE CHAIRMAN: Okay.  
 16 MS. MULLINS: I mean, let me just --  
 17 because I'm going to have to -- we're  
 18 controlling that computer by this computer, so  
 19 I'll have to put it on that computer.  
 20 THE CHAIRMAN: Okay. It's 3:55. Can we  
 21 meet at 4:00 o'clock? Okay.  
 22 (Brief recess.)  
 23 THE CHAIRMAN: We're ready to resume the  
 24 meeting.  
 25 MR. STONE: So, again, my name is David  
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1 Stone, and I'm one of the architects on the  
 2 project working with Phil Kean Design Group.  
 3 So what I have showing here is -- I just want  
 4 to walk you through a couple of existing images  
 5 of the house alongside the renderings that  
 6 you're seeing. Yeah, I can talk a little bit  
 7 louder.  
 8 THE CHAIRMAN: Or just even slow down a  
 9 tad, maybe.  
 10 MR. STONE: Can do.  
 11 THE CHAIRMAN: Thank you.  
 12 MR. STONE: So this is the existing front  
 13 corner of the house. As we click through  
 14 these, you'll see an existing photo and then a  
 15 rendering. As you can see, that elevation that  
 16 you were looking at in two dimensions doesn't  
 17 really depict what we're going to see in three  
 18 dimensions.  
 19 Because the reality is that addition, this  
 20 addition we're making, is 30 feet back from  
 21 that parapet. So that parapet wall's still  
 22 going to stay intact. As I click through here,  
 23 there's the very front. There's that existing  
 24 parapet wall. That's what that's going to look  
 25 like with the addition behind it. So you can  
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1 see, zero change there.  
 2 The corner, this is one of the most -- the  
 3 points of contention and one of the prominent  
 4 points in the community, obviously. So that's  
 5 the existing. Here is the new. The only piece  
 6 that's actually altering is you can see a  
 7 little piece of the roof peeking up right  
 8 there. That's all that you're going to see  
 9 from that corner.  
 10 Continuing around, we're keeping in the  
 11 same tradition of the existing home, continuing  
 12 to keep the same materiality, the same exist --  
 13 the same style that's currently there.  
 14 This is the existing garage. You can see  
 15 the lush landscape around it. That lush  
 16 landscape will remain, so most of this will  
 17 actually disappear a little bit as well. But  
 18 you will see a little bit of that addition  
 19 above it. Continuing down around the corner,  
 20 this is that addition that we're talking about.  
 21 This is the other corner along the front.  
 22 And that -- obviously, if you were to remove  
 23 all of the trees, that's what it would look  
 24 like, but also there's no -- this is not  
 25 exactly what you would see given the fact that  
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1 that building is actually closer to it. That  
 2 three-story structure to the left there is  
 3 actually closer. So it -- I mean, you can see  
 4 from that that you're not really going to see  
 5 that.  
 6 So to sort of close my piece and give it  
 7 back over to Phil, I just want to give you guys  
 8 an idea of sort of what it looks like. There's  
 9 a quick little fly-around video that will show  
 10 you what it looks like as you walk around this  
 11 property at person-height so that you can see  
 12 that it's not going to overbear the existing  
 13 structure. And that's all I have to say.  
 14 Any questions? And I'll leave this on  
 15 loop for you guys.  
 16 THE CHAIRMAN: Okay. Does anyone have any  
 17 questions before we open up the public hearing?  
 18 MS. FETNER: This is the public hearing.  
 19 MR. STONE: Yeah, Phil Kean with Phil Kean  
 20 Design Group is here as well to speak.  
 21 (Audience member approaches the podium.)  
 22 MS. BLAKE: Sir, if you'll kindly state  
 23 your name and address for the record.  
 24 AUDIENCE MEMBER: Phil Kean, 912 West  
 25 Fairbanks Avenue, Winter Park, Florida.  
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1 MS. BLAKE: If you'll raise your right  
2 hand, please.

3 MR. KEAN: (Complies.)

4 MS. BLAKE: Do you affirm that the  
5 testimony you're about to give is the truth,  
6 the whole truth, and nothing but the truth?

7 MR. KEAN: Yes, I do.

8 MS. BLAKE: Thank you.

9 MR. KEAN: Thank you for letting us show  
10 you our graphics.

11 I am an architect. I also sit on a  
12 historic review board in Winter Park, Florida,  
13 and have lived in multiple historic homes, so  
14 when Ginger contacted me to work on this  
15 project, we really were very conscious of the  
16 site and how to minimize its impact from the  
17 street.

18 So the -- and she has a house that doesn't  
19 have a master bedroom. She can't even put a  
20 king-sized bed in any room. And we sort of  
21 came up with this area of the yard that was  
22 sort of as far removed from the corner as  
23 possible to do a bedroom addition for her and  
24 actually have some good space for her to use.  
25 So that was one of the criteria.

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1 Also, being that she loved this old house,  
2 we wanted to make sure that the architecture  
3 was consistent with the original structure, so  
4 the garage addition and all the additions use  
5 the same language that the original house had.  
6 So the idea was that it was a series of -- so  
7 you had the original towers, so the addition  
8 was another little tower that you could -- but  
9 it was back in the back, and so that was the  
10 idea of the concept.

11 And then we created it around the  
12 courtyard, and so it's only attached at about  
13 20 feet. The whole addition has about a  
14 20-foot attachment. And it's as minimally  
15 invasive as possible to the existing structure,  
16 so really nothing's been removed. It's just  
17 where it attaches.

18 And we're actually using an existing  
19 window structure to move from one space to the  
20 other. So it was -- it's also, structurally --  
21 and the integrity of the original home has been  
22 minimized as far as its invasiveness of that  
23 structure. We really made the ceiling heights  
24 very low so that that structure was as low as  
25 it could possibly sit on that site and still

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1 have a hip roof that was in character with the  
2 original house.

3 COMMISSIONER DAVIS: What are the ceiling  
4 heights?

5 MR. KEAN: They're like 8-8 on the first  
6 floor. Actually, the second floor is like 8-8,  
7 and the first floor sort of matches the  
8 original house, which I think might be 9 feet.  
9 But it's really to make it feel like it's part  
10 of the original structure, so the doors and  
11 windows match; the materials on the exterior  
12 match; the parapet of the original garage is  
13 the same inspiration, proportion of doors and  
14 windows match. So it's really thoughtfully  
15 executed. I know that Ginger really likes it,  
16 and I do too.

17 So thank you. I've got one second.

18 MS. BLAKE: All right. Madam Chairman, I  
19 have three other speaker cards for this item.

20 THE CHAIRMAN: Okay. So the next person  
21 that would like to speak on this item, could  
22 you come forward?

23 MS. FETNER: Gloria, could you call out  
24 who's speaking in the order that you have it  
25 there, please?

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1 Thank you.

2 MS. BLAKE: Yes, ma'am. John -- I can't  
3 get the last name.

4 AUDIENCE MEMBER: Gallagher.

5 MS. BLAKE: Okay. There you go.

6 AUDIENCE MEMBER: Sorry for my writing.

7 MS. BLAKE: That's quite all right. If  
8 you would step to the microphone, please state  
9 your name and address for the record.

10 (Audience member approaches the podium.)

11 AUDIENCE MEMBER: John Gallagher, 3418  
12 Riverside Avenue, Jacksonville, Florida.

13 MS. BLAKE: Do you affirm -- raise your --

14 MR. GALLAGHER: (Complies.)

15 MS. BLAKE: -- that the testimony you're  
16 about to give is the truth, the whole truth,  
17 and nothing but the truth?

18 MR. GALLAGHER: I do.

19 MS. BLAKE: Thank you.

20 MR. GALLAGHER: Okay. Thank you for  
21 allowing me to speak.

22 I wish I had more than three minutes  
23 because I think this warrants a lot more than  
24 three minutes, but I understand your  
25 procedures. I'm the neighbor that lives right

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1 next door to this, that would be most impacted  
2 by this project.

3 The other neighbor that's directly within  
4 the sight line across the street, who is  
5 secondarily impacted, is an elderly gentleman  
6 who's lived in the house on Riverside where it  
7 meets with Oak for many years. He's currently  
8 suffering from vertigo and cannot be here.

9 I spoke with him yesterday, and he  
10 authorized me to enter his objections to this  
11 project on his behalf. His name is Jeff  
12 Freidenberg, and he lives at 3405 Riverside  
13 Avenue, but I think he also has an Oak Street  
14 address. I couldn't really discern whether he  
15 lives on Oak or Riverside, but he lives right  
16 where it bisects.

17 This is a 1909 house. It's the oldest  
18 house in Avondale. It's a landmark structure.  
19 The applicant is asking to nearly double the  
20 size of this house. I moved here from New  
21 Orleans, and I lived in a historic district  
22 there where I renovated an 1830 house. I lived  
23 there for 35 years.

24 An application like this -- I know the  
25 preservation standards of every city are

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1 different, but an application like this would  
2 not even be submitted. It would be so absurd  
3 that it would be laughable. Now, I know the  
4 standards are different in Jacksonville, but I  
5 just find the application outrageous, that this  
6 could be allowed to be done to a historic  
7 landmark structure.

8 It also sets -- I'm an attorney, and it  
9 also sets a bad legal precedent. If an  
10 applicant is allowed to double the size of a  
11 landmark structure just because they want to  
12 live in a large house, what's to stop me from  
13 saying, "Well, I don't like the square footage  
14 of my house. I want to add on to it and double  
15 the size"?

16 Every person in Riverside and Avondale  
17 would then be free to apply to the courts and  
18 say, "Well, you allowed this to happen to a  
19 landmark structure, so the scrutiny should be  
20 lower for designated structures that aren't  
21 landmark structures -- or lesser designated  
22 structures."

23 The application -- although there's some  
24 talk about what the actual square footage is,  
25 it's apparently about going from 2500 square

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1 foot to 4903, so that's basically putting  
2 another house right on top of the house that's  
3 there. The other thing is I bought the house  
4 two years ago largely because it's beautiful  
5 and, secondarily, because it has back yard  
6 total privacy.

7 We can go in the back yard, play with our  
8 dogs, our pets, and nobody can peer in and look  
9 in. When this happens, if this is allowed to  
10 happen, I'm going to have neighbors peering in,  
11 although I like my next-door neighbors, and the  
12 privacy will be destroyed. There's not enough  
13 setback on the property line. There's not the  
14 required 10 feet. I think there's 1 or 2 feet  
15 between my property line and the applicant, so  
16 I won't even be able to plant trees to block  
17 this out or to shield myself from --

(Timer notification.)

18 MR. GALLAGHER: Oh, okay. I knew that was  
19 going to happen.

20 THE CHAIRMAN: You can finish your  
21 statement.

22 MR. GALLAGHER: Okay. This application  
23 was never discussed with me. I learned about  
24 it by walking my dog the other night, seeing

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1 the sign. It also wasn't discussed with  
2 Mr. Freidenberg. So I'm kind of caught of  
3 guard. I haven't had a chance to review the  
4 plans. But I just think from a precedent  
5 standpoint, if this is approved, then it will  
6 render this board toothless. People will just  
7 go to court and say, "Well, you allowed this to  
8 happen to a landmark, so we want to do it."

9 And the courts will say, "Yeah, go ahead."

10 I think that's what we're faced with here  
11 if this is approved or any variation of this is  
12 approved.

13 So thank you.

14 THE CHAIRMAN: Thank you.

15 MS. BLAKE: Ginger Harris?  
16 (Audience member approaches the podium.)

17 MS. BLAKE: If you'll please state your  
18 name and address for the record.

19 AUDIENCE MEMBER: Ginger Harris, 1776  
20 Challen Avenue.

21 MS. BLAKE: Raise your right hand, please.

22 MS. HARRIS: (Complies.)

23 MS. BLAKE: Do you affirm that the  
24 testimony you're about to give is the truth,  
25 the whole truth, and nothing but the truth?

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1 MS. HARRIS: Yes.  
 2 MS. BLAKE: Thank you.  
 3 MS. HARRIS: Thank you.  
 4 I'm the owner of 1776 Challen, the  
 5 beautiful house, the landmark, and it wasn't  
 6 always so beautiful. So when I bought the  
 7 house 20 years ago, it wasn't beautiful at all.  
 8 The roof was caved in. There was radiators,  
 9 plumbing coming through the ceiling, nothing  
 10 like that, so part of the beauty is what I have  
 11 done to it. I can't take away that it's a  
 12 landmark for the city, and I'm proud of that.  
 13 I would do nothing to compromise the integrity  
 14 of my home at all.  
 15 So I've gone to great lengths to hire an  
 16 architect firm that's very familiar with the  
 17 historical and bringing me the materials that I  
 18 need and working with. When we considered the  
 19 addition, we did consider our neighbors. We  
 20 considered the lot size and what we need as  
 21 homeowners, that we deserved to have our space  
 22 that we want because we do pay our taxes and we  
 23 do own our home.

24 And in that, we were not compromising what  
 25 brought to the historical guidelines. So in  
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1 that, a lot of the report is not 100 percent  
 2 accurate, and I think that's why we're here  
 3 today, to try to say what we're actually doing  
 4 and what it shows.  
 5 When we talk about the elevations and that  
 6 it's going to take away from the facade, I  
 7 would not want to take away from the facade. I  
 8 wouldn't want to take it away even on the  
 9 garage. And from that, I went up on the roof  
 10 Sunday, and the chimney is 6-foot tall, that  
 11 sits in the center of our house.  
 12 So when you're -- the first thing when  
 13 you're sitting in the front, wherever that  
 14 elevation is, you don't even see that chimney.  
 15 So the only time you even catch part of the  
 16 elevation is on that corner of Riverside and  
 17 Oak. And in that, there's -- it's going to be  
 18 30 inches higher than the chimney. So my  
 19 neighbor's home, which is condos next door, is  
 20 3 feet -- I mean, it's probably 30 feet higher.  
 21 It's a three-story building.  
 22 And then I have two neighbors. I have a  
 23 neighbor behind me that has a garage that will  
 24 still be an apartment -- will be taller than my  
 25 addition, so it's not even the taller addition.

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1 And then I have this neighbor's house that is  
 2 to the side of us. And where I do respect  
 3 people's privacy, there's no way anybody can  
 4 plant fencing in between us or anything else,  
 5 nor has anyone tried. So the addition comes to  
 6 the back of the house, and his part is at my  
 7 garage.  
 8 But in saying that, we -- again, if you  
 9 look at the pictures and you take the  
 10 elevation, we are not massive, as it was put,  
 11 on the addition. I guess I'll leave that for  
 12 now and let the next person speak, and then I'm  
 13 sure you-all will have some questions.  
 14 Thanks.  
 15 THE CHAIRMAN: Thank you.  
 16 COMMISSIONER STANSEL: Thank you.  
 17 MS. BLAKE: Rick Beaver?  
 18 (Audience member approaches the podium.)  
 19 MR. BEAVER: Good afternoon. Rick Beaver,  
 20 3338 Riverside Avenue.  
 21 MS. BLAKE: Do you affirm that the  
 22 testimony you're about to give is the truth,  
 23 the whole truth, and nothing but the truth?  
 24 MR. BEAVER: I do.  
 25 MS. BLAKE: Thank you.

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1 MR. BEAVER: I am also a neighbor that  
 2 lives directly across the street on the corner  
 3 of Riverside and Challen, and my wife and I  
 4 have probably more of a visual look at this  
 5 house because that's what I look at. When I'm  
 6 in the kitchen, I'm looking straight across. I  
 7 see the entire face of 1776 Challen. It's a  
 8 great home.  
 9 I think Ginger said it best, is that when  
 10 she bought the home, it was in total disrepair.  
 11 The integrity that the house has today is  
 12 because she recreated it, and I really respect  
 13 her for that. I have had the opportunity to  
 14 review the plans. Because I knew that this was  
 15 happening, my wife and I wanted to know what  
 16 was going to go across the street from us.  
 17 Because, again, like you say, we look at it.  
 18 We see more of that house than Ginger does.  
 19 So I was able to look at the plans, and I  
 20 think there is a little misrepresentation on  
 21 the site plans, because when you do -- when I  
 22 saw that site plan, I was like, "Wow, that's  
 23 not the visual that you will see if you're  
 24 standing on the street."

25 So I'm here to speak in favor of the  
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1 project. I think that Ginger will create a  
2 home for her to give her the square footage  
3 that she deserves. I've been in the house.  
4 The rooms are small. You know, the rooms were  
5 much smaller back then than they are today, but  
6 she also deserves to have a modern type of  
7 house. But she's going to create that modern  
8 home with the exterior structure of the look  
9 that the house has today and continue to  
10 protect the integrity of that house.

11 And the visual that was -- that I just saw  
12 these in the last -- I saw site plans, but I  
13 saw this visual today. If you're standing in  
14 my yard looking at her house, you will see a  
15 very small portion of the roof of the new  
16 addition. And I do believe that that should be  
17 taken into consideration because the historic  
18 district and RAP does protect our neighborhood,  
19 but when someone works painstakingly to create  
20 a look that you're looking at right now, I  
21 think they deserve the opportunity to live in a  
22 home that they want to live in, especially when  
23 they basically have very little impact from an  
24 eye standpoint on the neighborhood.

25 Thank you very much.  
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1 THE CHAIRMAN: Okay. Thank you-all,  
2 speakers.

3 MS. FETNER: There's --

4 THE CHAIRMAN: Is there another one?

5 MS. BLAKE: Okay. Come on down.  
6 (Ms. Burke approaches the podium.)

7 MS. BLAKE: And, Adrienne, you've already  
8 been sworn in, so you can go ahead and proceed  
9 with your testimony.

10 MS. BURKE: Okay.

11 MS. BLAKE: Just give your name and  
12 address.

13 MS. BURKE: Sure. Adrienne Burke, 2623  
14 Herschel Street with RAP.

15 I had a chance to speak with the applicant  
16 earlier today and got a lot more information on  
17 the project, so that was really helpful, and  
18 got a background of what she has done to  
19 improve the property, and so very grateful at  
20 RAP for our historic homeowners who take care  
21 of their properties and really make sure that  
22 they stick around for the future.

23 So definitely not opposed to an addition  
24 on this structure. An addition is a by-right  
25 option that a property owner has, and she has

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1 the yard space, so we're not at all opposed to  
2 an addition on the structure. Preservation is  
3 a balance between new and old. We get that.

4 This is a really significant structure in  
5 the district. You know, being so old, it is --  
6 predates development of Avondale, and the  
7 construction history of the building's actually  
8 really unique. We're lucky to have so much  
9 history about this property. So because of  
10 that, because it's also a local landmark and  
11 it's on a corner lot, the design is  
12 particularly important as far as an addition  
13 goes.

14 A couple main concerns that I had about it  
15 and relayed them to the homeowner is about the  
16 height. I mean, if you're looking at this from  
17 a purely Secretary of Interior standards  
18 perspective, height and massing of an addition  
19 is really critical. So it just really does not  
20 comply with the standards to have a taller  
21 building and add a significant amount of square  
22 footage. So those are my main concerns about  
23 it. I do think that, as far as having an  
24 addition goes, the courtyard option is really  
25 good because you're not impacting the majority

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1 of the rear of the structure.

2 I did have a question about the garage.  
3 It sounds like it is historic, although not  
4 quite sure on the construction date. It sounds  
5 like it has to be reconstructed anyways, so not  
6 as concerned about that. Did offer the  
7 suggestion of maybe a way to break the massing  
8 was you could move the garage and keep it  
9 detached, but I don't know if that works with  
10 their project.

11 A couple other comments I had were on the  
12 left elevation, adjacent to the condominium  
13 building, possibly bumping in that wall plane  
14 where they're connecting the addition so that  
15 it's not using that same wall plane that  
16 clearly delineates where the addition is going,  
17 adding windows to the rear elevation to reduce  
18 the size of that blank wall, and the owner  
19 indicated she was open to those suggestions.  
20 So, overall, support an addition, just a couple  
21 concerns about this one in particular and some  
22 possible changes.

23 Thank you.  
24 THE CHAIRMAN: Thank you.  
25 So are we ready to entertain a motion?

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1 MS. FETNER: Are there any other speakers  
2 who would like to speak on this matter in the  
3 audience?

AUDIENCE MEMBERS: (No response.)

5 MS. FETNER: And also the applicant has a  
6 chance to respond to any of the speakers in  
7 opposition. So if the applicant would like to  
8 speak on that, because this is a quasi-judicial  
9 hearing, she has --

10 MS. HARRIS: Can he go?

11 MS. FETNER: Yes.

12 MS. HARRIS: Okay.

13 AUDIENCE MEMBER: I would like to just say  
14 one quick thing about the opposition that  
15 Mr. Gallagher has relative to the privacy in  
16 his yard. We purposefully did not put windows  
17 facing that yard. That was one of the main  
18 reasons.

19 So there's -- it's not interrupting the  
20 privacy. It's not really taking away from the  
21 privacy of his back yard. He has a garage that  
22 is pretty much right against the property line  
23 on the side that's in question, and we are  
24 going to back our garage up to -- really, where  
25 the current garage is now is where the new

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1 AUDIENCE MEMBER: Today?

2 COMMISSIONER DAVIS: Of the proposed  
3 structure.

4 AUDIENCE MEMBER: The proposed heated?  
5 What's the proposed square footage heated? The  
6 addition is about 1900 square feet.

7 COMMISSIONER DAVIS: Okay. Thanks.

8 AUDIENCE MEMBER: Thank you.

9 MR. GALLAGHER: May I respond?

10 MS. BLAKE: Huh-uh.

11 THE CHAIRMAN: Can we have more  
12 discussion? There's another --

13 MR. GALLAGHER: Just 30 seconds.

14 MS. FETNER: I'm sorry. There's  
15 no rebuttal -- we have to keep it formal,  
16 quasi-judicial. So if one of the commission  
17 members has a question for you, they can call  
18 you up.

19 If there's no other speakers, you can  
20 close the public hearing, entertain a motion,  
21 and then begin your discussion.

22 COMMISSIONER CASE: Through the Chair, I  
23 have a question for the applicant, but it's  
24 probably best answered by one of the  
25 architects.

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1 garage is going to be, but it will be pushed  
2 forward toward Riverside Avenue to be in plane  
3 with the front of the existing house now, and  
4 part of the addition is going to be on top of  
5 that. But just in reference to the -- to  
6 losing the privacy part of it, I beg to differ  
7 there.

8 And then with regard -- there's been a lot  
9 of talk about the doubling of the size of the  
10 house. It's not doubling the size of the  
11 usable square footage of the house. It is by  
12 no means a large addition. The current house  
13 is about 2300 square feet of living space as  
14 we've surveyed it, and the 4900 square feet  
15 that people are referring to is the new -- is  
16 the existing house, the new addition, and the  
17 new garage all bundled together.

18 So I can't regurgitate the exact square  
19 footage numbers right now, and I don't want to  
20 minimize the fact that it is a sizable  
21 addition. But, again, we've done a lot of  
22 thinking about how to make it least impactful  
23 as possible.

24 COMMISSIONER DAVIS: What ballpark was the  
25 heating and cooling --

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1 THE CHAIRMAN: Okay.

2 COMMISSIONER CASE: I'm looking at the  
3 proposed first-floor plan. And the elevations  
4 and the photographs would infer that the  
5 finished floor of the house is -- looks like it  
6 could be 30 inches or more above grade. Would  
7 that be correct?

8 MR. KEAN: It's -- the finished floor is  
9 the same as the existing, so there's no steps.

10 COMMISSIONER CASE: Yes, but the existing  
11 is how far above the current grade?

12 MR. KEAN: About 30 inches.

13 COMMISSIONER CASE: That's what I was  
14 guessing.

15 MR. KEAN: Yeah.

16 COMMISSIONER CASE: So on your floor plan,  
17 we're not showing any steps to get you down to  
18 grade.

19 MR. KEAN: We have -- if you look at  
20 the -- if you look right here in the back,  
21 there's a little -- there's steps that go from  
22 the courtyard down to the grade there.

23 COMMISSIONER CASE: Okay.

24 MR. KEAN: And then in the front there's  
25 steps that take you -- the existing house has

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1 steps. And then on the side of the family room  
 2 where the patio is, it's just a raised patio  
 3 without a step going down to the yard.  
 4 COMMISSIONER CASE: So you're filling the  
 5 courtyard up to almost finished floor height --  
 6 MR. KEAN: Yes.  
 7 COMMISSIONER CASE: -- is what you're  
 8 saying?  
 9 MR. KEAN: Yes, so that it's -- it will  
 10 have a tree in it and things like that.  
 11 COMMISSIONER CASE: I think you testified  
 12 before that you thought the ceiling in the  
 13 house was like 9-4.  
 14 MR. KEAN: Yeah. I can't see it.  
 15 COMMISSIONER CASE: And I know we're  
 16 looking at a very small thing, but it appears  
 17 to say 10 feet for the first floor.  
 18 MR. KEAN: It would be what the existing  
 19 is.  
 20 COMMISSIONER CASE: You're showing 10 feet  
 21 there, which is also 10 -- looks like 10-4 or  
 22 something. It's very small.  
 23 MR. KEAN: Yeah. Let me see.  
 24 COMMISSIONER CASE: And then you've got a  
 25 floor truss space which appears to be maybe  
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1 16 inches, and then the second floor is  
 2 10 feet, not --  
 3 MR. KEAN: Yeah, I was wrong. Sorry about  
 4 that.  
 5 COMMISSIONER CASE: So I guess the point  
 6 I'm trying to make is essentially to the bottom  
 7 of the eave of the proposed addition, we're  
 8 looking at an elevation of somewhere in the  
 9 neighborhood of 22 feet or so, correct?  
 10 MR. KEAN: There's a dimension right here.  
 11 So it says total height from the ground is 28.  
 12 COMMISSIONER CASE: Yeah. 28 feet to the  
 13 eaves?  
 14 MR. KEAN: No. To the top, to the very  
 15 peak.  
 16 MS. BLAKE: Gentlemen, if you can speak  
 17 one at a time so the court reporter can do his  
 18 job.  
 19 Thank you.  
 20 COMMISSIONER CASE: So approximately what  
 21 is it to the bottom of the eave?  
 22 MR. KEAN: Eaves, let's see. 20 --  
 23 COMMISSIONER CASE: Bottom of the soffit  
 24 from grade.  
 25 MR. KEAN: Probably 22, 22ish.  
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1 COMMISSIONER CASE: Yeah, that's what I  
 2 was guessing.  
 3 MR. KEAN: Roughly.  
 4 COMMISSIONER CASE: Okay. So it's hard to  
 5 tell from this survey, but how far is that rear  
 6 elevation off the property line?  
 7 MR. KEAN: It's in line with the existing  
 8 garage, so I believe that -- do we have a  
 9 survey on this? 2-feet-6.  
 10 COMMISSIONER CASE: Okay. And the depth  
 11 of the overhang is what?  
 12 MR. KEAN: It's the same as the existing,  
 13 I believe. Let's see if there's a -- if  
 14 there's not a dimension on there. I'm going to  
 15 assume it's not overhanging or else --  
 16 COMMISSIONER CASE: Well, that's my point.  
 17 MR. KEAN: Yeah.  
 18 COMMISSIONER CASE: Just looking at and  
 19 eyeballing the overhang on the house, it would  
 20 appear that the overhang is over the property  
 21 line on that south elevation. And we're  
 22 looking at a wall that's essentially 22-plus  
 23 feet high, 30 inches off the property line;  
 24 that's pretty impactful to anybody, whether  
 25 it's a direct neighbor or whatever. That's my  
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1 real concern.  
 2 I don't have a problem with the square  
 3 footage. I'm having more of a problem with the  
 4 height of the mass in relationship to the  
 5 property line and the adjacent neighbors. And  
 6 I think part of that could be solved by either  
 7 stepping it back, giving a little bit more  
 8 setback on that side regardless of what the  
 9 existing garage is since it's being  
 10 reconstructed. I don't know if zoning will  
 11 allow you to put it back in the same position  
 12 anyway.  
 13 MR. KEAN: This is the -- do we have a  
 14 picture? Do you have a picture of that side?  
 15 I think we just took a picture of the wall  
 16 that's 2 feet from the other property line. I  
 17 think Ginger took it this afternoon just in  
 18 case this question came up.  
 19 COMMISSIONER CASE: I don't know what the  
 20 current setback is for that lot today. Once  
 21 that garage is being demolished, would they be  
 22 required or allowed to put it back on the same  
 23 spot, or would they have to conform to today's  
 24 setback?  
 25 COMMISSIONER DAVIS: Since it's detached,  
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1 it would be treated as an accessory structure.  
2 COMMISSIONER CASE: Well, it's detached  
3 now. But once it's attached, it's part of the  
4 main building, and it may not comply with the  
5 setback standards.

6 MS. FETNER: Through the Chair, the  
7 setbacks in the Historic Riverside Avondale  
8 Overlay allow for -- you look at adjacent  
9 structures for setbacks, and also they do give  
10 some consideration to the existing structure  
11 before. So they aren't held to the same  
12 setbacks as the general code. It's within the  
13 Overlay, and I believe this has been  
14 investigated by the staff with the zoning  
15 department.

16 MS. MULLINS: It's essentially -- what  
17 they do is they kind of go over the average of  
18 the house, the building to the right and across  
19 the street. The building to the right has a  
20 zero setback and then, you know, who knows  
21 across the street; it could be 5, maybe 7. And  
22 then they can be within 5 feet of that average,  
23 so 2.6 would probably end up being okay in  
24 terms of zoning. Again, the design regulations  
25 do talk about setbacks and is it compatible, so

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1 you can address that with your decision.

2 COMMISSIONER CASE: Okay. Well, you see  
3 what I'm getting at?

4 MR. KEAN: Yes, I do.

5 COMMISSIONER CASE: You've got a  
6 22-foot-high wall 2-and-a-half feet from a  
7 property line. That's pretty overwhelming.  
8 And especially if the overhang is -- looks like  
9 it could be as much as 4 feet, that would put  
10 it over the property line.

11 MR. KEAN: I don't know if that garage had  
12 that kind of overhang. I think that's the  
13 overhang we were looking at. You're right. It  
14 needs to be addressed.

15 COMMISSIONER CASE: It looks like it had a  
16 parapet, the original garage.

17 MR. KEAN: Yeah, it did have a parapet.

18 COMMISSIONER CASE: Yeah.

19 MR. KEAN: And it will have a parapet, the  
20 new garage. This is just a photograph of the  
21 house or the building next to that -- this back  
22 here is the side that would be adjacent to that  
23 wall. And there's no windows on that side, so  
24 it's a -- it's exactly the wall that you're  
25 talking about. It's a 20-plus-foot wall that

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1 has no windows on it, that faces her back yard,  
2 which is part of the reason that that was put  
3 in that spot, so that it sort of created a --  
4 it wasn't impacting the neighbor because  
5 they're not looking into that and that wall  
6 doesn't really look into their yard either.  
7 But I totally understand that overhang.

8 COMMISSIONER CASE: Have we looked  
9 at another -- you know, to reduce the mass and  
10 reduce the height? Right now, it appears that  
11 you've got a 10-foot flat ceiling on the second  
12 floor?

13 MR. KEAN: Yeah.

14 COMMISSIONER CASE: Have we looked at  
15 maybe dropping it to 8 and doing a vaulted  
16 ceiling or something that has a pitched ceiling  
17 to reduce?

18 MR. KEAN: Would you be open to that?

19 COMMISSIONER CASE: I'm just bringing it  
20 up.

21 MR. KEAN: That would be a -- I mean, I --

22 COMMISSIONER CASE: You know, to bring it  
23 down but use that space.

24 MR. KEAN: Yeah, get a little angle up in  
25 there. She has beams in the rest of the house,

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1 so that would be in keeping with the  
2 architecture of the original structure.

3 COMMISSIONER CASE: Yeah. But you can  
4 still do that with a hip ceiling. You can  
5 still retain all the beams. But that would be  
6 a tool to reduce the apparent mass. Just a  
7 suggestion.

8 MR. KEAN: No, I think that's a good one.

9 COMMISSIONER CASE: I am concerned about  
10 the roof overhang as it relates to setback.

11 MR. KEAN: It could be that -- especially  
12 on that side, we could do a parapet like we're  
13 doing on the garage so that it doesn't -- it  
14 just goes up, and the roof dives into that so  
15 that there's no overhang at all on that side.

16 That could be easily accomplished without  
17 compromising the aesthetic of the architecture.

18 COMMISSIONER CASE: Those are all the  
19 questions I had.

20 THE CHAIRMAN: Do we need a motion? Okay.

21 MR. KEAN: Thank you.

22 COMMISSIONER CASE: Thank you.

23 THE CHAIRMAN: So I think we need a motion  
24 just to begin our discussion. Do I have a  
25 motion to accept the application with staff

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1 conditions?

2 COMMISSIONER DAVIS: I think we've --

3 MS. FETNER: There are no staff  
4 conditions. Currently, the staff  
5 recommendation is to deny.

6 THE CHAIRMAN: Oh, okay. So do we have a  
7 motion to --

8 COMMISSIONER DAVIS: Just for the purposes  
9 of discussion, I'll make a motion to deny.

10 COMMISSIONER DEMETREE: Second.

11 THE CHAIRMAN: Okay. So...

12 COMMISSIONER DEMETREE: We can discuss.

13 THE CHAIRMAN: Discussions on this item.

14 COMMISSIONER DAVIS: I mean, you know, it  
15 looks like it's -- it looks like the design is  
16 really well done and it keeps in character with  
17 the house. Like, I don't think we could -- I  
18 don't think we could ask for a better design,  
19 you know, if we're trying to accomplish this  
20 square footage and, like, the whole courtyard.  
21 I mean, everything is fantastic.

22 But I would agree with David and Adrienne.  
23 I just -- I think it's overshooting it on the  
24 size of the addition. It's just -- it's a big  
25 change to a landmark structure. I mean, I

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1 would love to see it pass and happen, but I  
2 think it -- I think it takes going back to the  
3 drawing board.

4 THE CHAIRMAN: Okay.

5 COMMISSIONER CASE: I mean, personally, I  
6 would like to -- I would kind of hope that they  
7 would maybe request a deferral and maybe look  
8 at some options to slightly reduce the overall  
9 mass of the house and double-check the  
10 overhangs and whatnot as it relates to setback.

11 And it would be nice if the addition was no  
12 higher than the highest part of the existing  
13 residence, which would be the tower, and that  
14 appears like it would be dropping it down maybe  
15 2 feet. That would be my hope.

16 COMMISSIONER LOPERA: Yeah. Through the  
17 Chair, thank you, Mr. Kean and Mr. Stone, for  
18 providing the plans for us.

19 And, yeah, I disagree with Ryan. I don't  
20 think it has to be completely scrapped. But I  
21 do agree with David that I think that the  
22 overall height is very important. Even though  
23 you cannot see it from the street, as soon as  
24 we approve allowing someone to do it, to build  
25 something higher than anything else that's

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1 already existing, it's going to set a  
2 precedent.

3 And this commission has approved large  
4 additions to the back, to the rear of existing  
5 structures, large two-story additions to the  
6 back of existing two-story buildings, so I  
7 don't have an issue with that as much as I do  
8 with the two-story addition being higher than  
9 everything else. Because even though you can't  
10 see it from the street, the people next door in  
11 a three-story structure or a two-story  
12 structure near it, they will be able to see  
13 completely across. They will be able to see  
14 that the new addition is higher than the  
15 existing -- than the highest ridge on the  
16 existing structure.

17 And I think there are some things that you  
18 can do for that. You can -- like David said,  
19 you can either use a cathedral ceiling or you  
20 can vault ceiling, and you can drop another  
21 12 inches if you need to just to add a few more  
22 bearing walls there. So there's multiple  
23 options to reduce the overall height. And then  
24 that would go a long ways as far as, you know,  
25 fixing some of these amassing issues.

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1 THE CHAIRMAN: Is there somebody --

2 MS. MULLINS: Did you need to speak?

3 MS. HARRIS: We would like to request a  
4 deferral.

5 MS. BLAKE: Excuse me. Whoever's  
6 speaking, you need to come to the microphone,  
7 please and thank you.

8 MS. HARRIS: Yes, we would like to request  
9 a deferral on this.

10 THE CHAIRMAN: Okay. So do we amend?

11 MS. FETNER: You're supposed to defer  
12 motions. So if there's a motion on the table,  
13 what I recommend is that you make a motion to  
14 defer, have a second, and then vote on that.

15 COMMISSIONER CASE: I guess I move that we  
16 accept the applicant's deferral, request for  
17 deferral.

18 COMMISSIONER DEMETREE: I would second  
19 that.

20 THE CHAIRMAN: Okay. We have a motion and  
21 a second to accept the deferral of this  
22 applicant.

23 MS. FETNER: And discussion -- you need to  
24 open it up for discussion.

25 THE CHAIRMAN: Okay. We need to open it  
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1 up for discussion.  
2 MR. KEAN: Can I --  
3 THE CHAIRMAN: Sure.  
4 MR. KEAN: Okay. All the --  
5 MS. FETNER: I'm sorry, sir. They have to  
6 vote on this deferral, please.  
7 COMMISSIONER LOPERA: We're voting on the  
8 deferral, and then we can discuss?  
9 COMMISSIONER CASE: Right, correct.  
10 MS. FETNER: So you can discuss right now  
11 and then vote.  
12 COMMISSIONER LOPERA: Are you-all okay  
13 with -- through the Chair, are you-all okay  
14 with giving them some direction at least?  
15 Because I do agree with David.  
16 COMMISSIONER CASE: I think we kind of  
17 did.  
18 COMMISSIONER LOPERA: Okay.  
19 THE CHAIRMAN: And I had another question  
20 about the windows. If the wall is being -- if  
21 they are going to alter their current design, I  
22 wondered if you-all at the staff level would  
23 have an opinion about inputting windows.  
24 MS. MULLINS: Where?  
25 THE CHAIRMAN: Where there are none now.  
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1 MS. MULLINS: We can review the design,  
2 you know, and give you comments on the  
3 new design once it gets -- if they redesign it.  
4 It's kind of a moot point right now.  
5 THE CHAIRMAN: Okay.  
6 MS. MULLINS: For sure, we can definitely  
7 give you comments on window placement.  
8 THE CHAIRMAN: All right. Thank you.  
9 So is there any more discussion or  
10 questions?  
11 COMMISSION MEMBERS: (No response.)  
12 THE CHAIRMAN: So we would like to vote on  
13 the motion to accept the deferral of this  
14 application COA-17-797. All those in favor?  
15 COMMISSION MEMBERS: Aye.  
16 THE CHAIRMAN: And those opposed?  
17 COMMISSION MEMBERS: (No response.)  
18 THE CHAIRMAN: Okay. So deferred.  
19 MR. KEAN: Thank you.  
20 THE CHAIRMAN: Thank you.  
21 And it is 4:41. Do we have time to -- I  
22 think we do, since we took an early break.  
23 So the next item on the addition -- on the  
24 agenda is COA-17-798, 3944 Herschel Street.  
25 Do we have a staff report?  
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1 MS. MULLINS: We do. Hang on one second.  
2 There should be an addendum, a little extra  
3 piece that didn't quite make it into the book.  
4 It's kind of an extra little packet for you.  
5 Give me one second.  
6 I do have a correction on the staff  
7 report. Mr. McEachin, the planner, accidentally  
8 put 3955 instead of 3944 for the address, so I  
9 would like the record to show that that's the  
10 wrong address on the report.  
11 Okay. The request --  
12 COMMISSIONER CASE: Excuse me. The  
13 property was posted correctly, though?  
14 MS. MULLINS: It was definitely posted  
15 correctly. It was on the agenda correctly.  
16 COMMISSIONER CASE: Okay.  
17 MS. MULLINS: Just the report is  
18 incorrect, so I apologize for that.  
19 So this is the structure. It is on  
20 Herschel Street. It's right next to a --  
21 almost like a parking lot, a little -- as you  
22 can see, these are the Google street views.  
23 This is the front elevation. It does have a  
24 6-foot fence in compliance. As you can see,  
25 it's kind of a like a multi-family  
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1 noncontributing 1970s-ish with a parking area  
2 in front.  
3 The right elevation of this house, you can  
4 see, is pretty visible because of that parking  
5 area. The request is to -- as you can see,  
6 here's kind of more of a close-up. See where  
7 the cars are parked? In that right area, they  
8 would like to take these two historic windows  
9 out and install sliding glass doors.  
10 Typically, we're a lot more flexible on  
11 that rear half. But because it's so visible  
12 and if that fence was gone it would be  
13 extremely visible, we did recommend that  
14 instead of using the sliders, they use typical  
15 French door-style doors instead of the more  
16 modern sliders. The modern sliders are usually  
17 reserved -- rarely on the rear because it is a  
18 more modern treatment. French doors are pretty  
19 typical for the district. And that's our goal,  
20 is to kind of keep compatible with the historic  
21 district.  
22 In addition, they're also going to do a  
23 deck, but we would approve that  
24 administratively. We just kept it in this  
25 application. And the applicant, for their  
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5

1 is one item on the consent agenda. It is a  
2 Minor Mod No. MMA-17-007, 1454 Pearl Street  
3 North.  
4 Would any of the commissioners like to  
5 ask any questions of staff on that?  
6 COMMISSION MEMBERS: (No response.)  
7 MS. FETNER: Do you want to give a  
8 staff report? It's --  
9 MR. POPOLI: It's consent.  
10 MS. FETNER: -- consent. Okay.  
11 THE CHAIRWOMAN: Does anybody have any  
12 questions?  
13 COMMISSION MEMBERS: (No response.)  
14 THE CHAIRWOMAN: Hearing none, we  
15 will take a motion to approve these  
16 consents.  
17 MS. FETNER: Do you want to open it up to  
18 the public?  
19 THE CHAIRWOMAN: Oh, okay. So let's open  
20 the public hearing.  
21 Does anyone -- is anyone here to speak on  
22 1454 Pearl Street North? It's on the consent  
23 agenda.  
24 AUDIENCE MEMBERS: (No response.)  
25 THE CHAIRWOMAN: It looks like no,

6

1 so we would close that hearing. And if  
2 anyone would like to make a motion to  
3 approve this item on the consent agenda,  
4 I will take one.  
5 MR. DEMETREE: Motion to approve  
6 MMA-17-007.  
7 MR. DAVIS: Second.  
8 THE CHAIRWOMAN: All those in favor?  
9 COMMISSION MEMBERS: Aye.  
10 THE CHAIRWOMAN: Opposed?  
11 COMMISSION MEMBERS: (No response.)  
12 THE CHAIRWOMAN: Therefore, by your  
13 action the motion carries, hearing none.  
14 MS. FETNER: Madam Chair, for the record,  
15 I would like for everyone to go around and  
16 state their name just so that when the  
17 transcript comes out.  
18 THE CHAIRWOMAN: Sorry about that,  
19 you-all. I totally forgot. Okay. Some  
20 interaction?  
21 MS. MULLINS: Blair Mullins, staff.  
22 MR. POPOLI: Christian Popoli, Planning  
23 and Development.  
24 MS. FETNER: Sondra Fetner, Office of  
25 General Counsel.

7

1 MR. LOPERA: Andres Lopera, Commissioner.  
2 MR. DEMETREE: J.C. Demetree,  
3 Commissioner.  
4 MR. DAVIS: Ryan Davis, Commissioner.  
5 MR. KASPER: Erik Kasper, Commissioner.  
6 THE CHAIRWOMAN: Next on the agenda,  
7 previously deferred Items to be heard. There  
8 is a COA-17-797, 1776 Challen Avenue.  
9 MS. MULLINS: We previously heard this  
10 application in August of this year so the  
11 majority of you were here for that.  
12 Essentially, the request was for a two-story  
13 addition on the rear of the landmark structure.  
14 It is a landmark and a contributing  
15 structure to the district. I just kind of  
16 pulled up some pictures to kind of refresh your  
17 memory. These are the cool historic photos I  
18 wanted to show you guys. And here's the  
19 existing.  
20 So this is the structure in question.  
21 Originally, in August they were requesting for  
22 a two-story addition on the rear. The majority  
23 of the main house is a one-story.  
24 Staff was recommending denial because of  
25 the scale and size of the structure. And so

8

1 after, you know, months of them reworking  
2 designs, they did provide updated plans. So  
3 the updated plans for this month, if you see --  
4 here's a picture. It's on the corner of  
5 Riverside and Challen, the main street being  
6 Challen. There's some more pictures of the  
7 house.  
8 So this is the revised plans. They are  
9 essentially -- staff's essentially we are  
10 keeping the same position as originally. It's  
11 for denial because we feel that the new plans  
12 do not have a substantial amount of difference  
13 from the original plans. We still feel that  
14 it's a two-story addition on a one-story house.  
15 The scale is still visible from Challen  
16 and Riverside, the corner there. And they did  
17 reduce it two feet in height. They did push  
18 the new addition from the rear property lines  
19 so the eave that's not on the property line.  
20 So that was one of the Commission's concerns  
21 last time.  
22 So we just felt that the reduction in  
23 height was just not enough. You can see -- I  
24 don't know if you can really from -- it's in  
25 your book and on your iPads. You can see where



1 they have -- the light outline on the front  
2 elevation there, it's the addition. So I can  
3 kind of go through and see -- this is the kind  
4 of light shaded to the right up there is the  
5 new addition.

6 The site plan essentially didn't really  
7 change because they didn't really -- because  
8 it's the eave. They changed the eave, not the  
9 actual footprint. So in addition, this is the  
10 previous set of plans. So as you can see,  
11 there is not much difference from this to this.  
12 And that's why we kept our position the same.  
13 We felt that it still didn't meet the sign  
14 regulations or the Secretary of Interior  
15 standards.

16 There is an email in front of you that  
17 we received today from a citizen. You also  
18 have in your book quite a few from emails  
19 citizens in opposition and not in opposition.  
20 So that's all in there for you. So we are  
21 available for questions.

22 THE CHAIRWOMAN: Would you  
23 confirm -- it's the same staff report or  
24 did you change?

MS. MULLINS: We didn't touch the staff

1 report because our opinion didn't change, but  
2 we did update the summary, which should have  
3 been the first page you see. And it just kind  
4 of outlines the summary -- just kind of  
5 outlines, you know, what the issues staff had  
6 initially, revisions in November, and then why  
7 we still felt to deny the applicant the  
8 recommendation.

9 THE CHAIRWOMAN: Questions?

10 MR. KASPER: So the question to the Chair  
11 and to Planning, the original building  
12 understood not to have the towers, and the  
13 towers were added at some time. Is it still  
14 understood that the current structure with the  
15 towers is what we are starting as the  
16 significant structure?

17 MS. MULLINS: We are taking into account  
18 the main structure and the left tower is really  
19 the historic structure -- the historic tower  
20 that was built essentially one year after the  
21 original building. Honestly, I didn't date the  
22 other smaller tower so I'm not quite sure when  
23 that was built.

24 MR. KASPER: But for our purpose of  
25 comparison, the significant structure is what

1 is currently on property now that has the  
2 towers?

3 MS. MULLINS: Yes.

4 THE CHAIRWOMAN: Any other questions?

5 We will open the public hearing.

6 Would the applicant please come forward?

7 (Audience member approaches the podium.)

8 MS. HARRIS: Ginger Harris.

9 MS. BLAKE: Please state your name and  
10 address for the record.

11 MS. HARRIS: Ginger Harris, 1776 Challen  
12 Avenue.

13 MS. BLAKE: Raise your right hand, please.

14 Do you affirm that the testimony you  
15 are about to give is the truth, the whole  
16 truth, and nothing but the truth?

17 MS. HARRIS: Yes.

18 THE CHAIRWOMAN: So have you read the  
19 staff report?

20 MS. HARRIS: I did.

21 THE CHAIRWOMAN: The updated one?

22 MS. HARRIS: Well, I actually took it to  
23 even call Blair to make sure I understood their  
24 position. So when I talked to her, I said, you  
25 know -- she told me just what she told you-all

1 that they didn't consider we made very many  
2 changes.

3 I said, Well, from our last meeting in  
4 August, the changes were height, which was the  
5 main consideration, not to attract from the  
6 facade of the front of the house which we  
7 addressed. I think going down two feet is  
8 huge. We have eight inches difference. We  
9 went from 30 to 24 and -- I mean, we took away  
10 24.

11 And 8 inches, I don't care if you're  
12 standing at the corner of Riverside or Edgewood  
13 or in the back of the house, no human eye can  
14 tell the difference between that 8 inches of a  
15 tower, whether it's the front tower or the back  
16 tower or the addition. It is impossible.

17 But my architect will go through the  
18 changes he made. We addressed y'all's concerns  
19 with our eaves, we addressed that. Also, which  
20 I would -- I don't know if you-all have the  
21 letter from RAP.

22 Blair or anybody?

23 MS. MULLINS: There is a letter --  
24 there's an email from the executive  
25 director of RAP in your book under

13

1 Citizen emails. It is a little kind of  
 2 section. Who knows what page?  
 3 MS. HARRIS: I think that's hugely  
 4 important because after we made the changes to  
 5 the plans, we met with them in person which I  
 6 would also like to have met with Blair, but  
 7 they just wanted the plans. They didn't want  
 8 to sit down and talk it out. That wasn't their  
 9 position, but RAP did. And they are in  
 10 complete agreement with the changes we've made  
 11 and the approval. And she attached a letter to  
 12 the Planning. Then said that somebody would  
 13 provide that today, that they are in agreement  
 14 with the changes that we followed and their  
 15 guidelines. I think that's hugely important  
 16 also.  
 17 But what I'd like to do is let my  
 18 architect go over the changes that he made and  
 19 address that and the contractor. And then if  
 20 you-all have questions as we go through,  
 21 opposition as well as people that agree, then I  
 22 will come back up. Is that all right? That's  
 23 what we did last time, so that is what I  
 24 assume.  
 25 THE CHAIRWOMAN: Yeah, I think

14

1 there maybe some other people in here to  
 2 speak on this item.  
 3 MS. HARRIS: Yeah.  
 4 MS. FETNER: Madam Chair, would you  
 5 like to have -- so that the flow of the  
 6 information is consistent, would you like to  
 7 have the applicant's agents speak and use their  
 8 time first and then you can take from the  
 9 public -- you take opposition and support back  
 10 and forth. Is that okay?  
 11 THE CHAIRWOMAN: Okay. Sounds good.  
 12 MS. HARRIS: Thank you.  
 13 MS. BLAKE: Madam Chairman, I have 13  
 14 speaker cards for this application, only one  
 15 marked in opposition.  
 16 THE CHAIRWOMAN: Okay. So should we just  
 17 wait and hear that one separate --  
 18 MS. FETNER: Yes.  
 19 THE CHAIRWOMAN: -- last?  
 20 MS. FETNER: I would suggest that you have  
 21 the applicant's agents present now because it  
 22 is part of kind of the applicant's part and  
 23 then you can have the opposition go.  
 24 THE CHAIRWOMAN: Okay. Well, that is what  
 25 we will do. Is it the architect, building --

15

1 (Audience member approaches the podium.)  
 2 MR. RINZLER: Actually, building  
 3 contractor.  
 4 THE CHAIRWOMAN: Sir, if you would kindly  
 5 state your name and address for the record.  
 6 MR. RINZLER: David Rinzler, 6944 St.  
 7 Augustine Road Jacksonville, Florida 32217.  
 8 MS. BLAKE: Would you raise your right  
 9 hand, please.  
 10 Do you affirm that the testimony you are  
 11 about to give is the truth, the whole truth,  
 12 and nothing but the truth?  
 13 MR. RINZLER: I do.  
 14 MS. BLAKE: Thank you.  
 15 MR. RINZLER: David Rinzler, Brody and  
 16 Brody is the name of the company. We are the  
 17 building contractor selected for the proposed  
 18 addition.  
 19 I think it's a bit of a disservice to  
 20 say that not significant changes were made in  
 21 the plans. We addressed each and every concern  
 22 that was raised at the meeting we were at in  
 23 August.  
 24 The main concern was the height relative  
 25 to the existing towers, so we did lower the

16

1 building 24 inches. We have an 8-inch  
 2 difference between the existing towers and the  
 3 new structure now. I have got some renderings  
 4 that I can pass around and let you guys look at  
 5 them and also can be further explained by the  
 6 architect but this is the most important  
 7 rendering --  
 8 MS. BLAKE: Excuse me, sir. I am  
 9 going to need you to stay in front of  
 10 the microphone.  
 11 MR. RINZLER: Oh, I'm sorry.  
 12 MS. BLAKE: And if you would like me to  
 13 pass those out, I will be happy to do that for  
 14 you or are you speaking to them?  
 15 MR. RINZLER: I will speak to them about  
 16 them, but then I can -- you can hand them to  
 17 them or I can hand them --  
 18 MS. BLAKE: I will let the Chair decide  
 19 how she wants to handle that.  
 20 MR. RINZLER: Okay. This is the most  
 21 significant view, I think. This is the one  
 22 where the committee said that it was a  
 23 significant impact from the corner of Challen  
 24 to Riverside Avenue. This is as if you were  
 25 standing on the street at that very location.

17

1 And the only place the addition is visible is  
2 here and here.

3 Again from a perspective view, like a  
4 person would get rather than a planned view,  
5 you won't be able to see any difference in  
6 height at all, but there is actually an 8-inch  
7 difference in height, which if that was the  
8 only sticking point, I am sure that could be  
9 addressed also because we have already lowered  
10 it 24 inches.

11 There are numerous views from  
12 different -- all of the different areas. If  
13 you guys want to take a look at these, is that  
14 something --

15 THE CHAIRWOMAN: Ms. Blake will  
16 pass them around. Thank you.

17 MR. RINZLER: I think we have made great  
18 strides and efforts trying to address the  
19 concerns of the committee both with the eaves  
20 over the property line, the height. There was  
21 some comments about materials selections and  
22 things that couldn't be matched, but that's  
23 simply not relevant.

24 We can match the materials pretty close  
25 to the materials that are there. In fact, some

18

1 of the materials that are on the house now are  
2 not in accordance with what was originally  
3 there. Over the years there has been a lot of  
4 work done on the structure, and we think we can  
5 do a great job in matching what was the  
6 original intent was.

7 I don't know if you guys have any  
8 questions for me.

9 MR. DAVIS: So what was the  
10 modification of the eave of the house?

11 MR. RINZLER: There was on the back side  
12 of the property, there was -- the eave was  
13 actually hanging at or even possibly over the  
14 property line. So we cut the eaves all back so  
15 they are within the confines of Ms. Harris'  
16 property now. They don't hang over the  
17 property line. They are not touching the  
18 property line. We didn't actually move the  
19 footprint of the building. We changed the  
20 eaves.

21 MR. DAVIS: How far did they project out?

22 MR. RINZLER: I believe on that side of  
23 the building 2 feet, 6 inches, if I'm not  
24 mistaken. On the original structure, the  
25 eaves -- there's a couple of different lengths

19

1 of eaves but primarily they are like three and  
2 a half feet on the structure. And that is the  
3 way we had them.

4 But we have cut them back, but kept them  
5 in the same architectural integrity so  
6 everything blends. You won't be able to tell  
7 there's any difference.

8 Thank you.

9 THE CHAIRWOMAN: Any other  
10 questions?

11 MR. KASPER: Through the Chair, is it our  
12 intent to hear all the comments and then  
13 discuss?

14 THE CHAIRWOMAN: Well, I thought we would  
15 ask questions while they ...

16 MS. FETNER: So I would prefer you to  
17 limit your questions, so getting clarification  
18 of something that is said during each speaker's  
19 presentation. And then once you start  
20 deliberating, that's when you call back some of  
21 the speakers if you have more, I guess, more  
22 questions that are not related to what they are  
23 speaking of.

24 MR. KASPER: Are we in the public forum  
25 now?

20

1 THE CHAIRWOMAN: Yes.

2 MR. POPOLI: No.

3 MS. FETNER: Architect.

4 THE CHAIRWOMAN: No, this is still the  
5 public hearing. Thank you. So would you like  
6 to come forward?

7 (Audience member approaches the podium.)

8 MR. STONE: Yes, please, if you wouldn't  
9 mind. Thank you very much.

10 Name is David Stone. I actually am  
11 from Orlando, Florida. So 912 West  
12 Fairbanks Avenue, Winter Park.

13 MS. BLAKE: Raise your right hand,  
14 please.

15 Do you affirm that the testimony you are  
16 about to give is the truth, the whole truth,  
17 and nothing but the truth?

18 MR. STONE: I do.

19 MS. BLAKE: Thank you.

20 MR. STONE: My pleasure.

21 So I just wanted to speak to couple  
22 of minor items as pertains to what we have  
23 changed and how we have made the  
24 alterations going. You have heard a  
25 little bit from Ginger as well as David

21

1 about what those changes were.  
2 You know, originally this design did  
3 consist of a much taller structure. We took  
4 all of that down so that we are only 8 inches  
5 different from the tower itself. We have  
6 designed it to where you will not be able to  
7 visually see it from the main street, from that  
8 front facade. You will see a little bit of it  
9 from the corner, but it doesn't overpower  
10 anything with regards to the way you can sort  
11 of see those renderings.  
12 Those renderings are actually done at eye  
13 level of somebody who is 5 foot 6. So that  
14 gives you an idea of sort of what you are going  
15 to see. On that front elevation it's going to  
16 go away. We always end up in a situation where  
17 we hate showing elevations in this sort of  
18 situation because that does make it look like  
19 it's significantly taller.  
20 But we are talking about a structure that  
21 is 35 feet back from the front facade. So that  
22 addition is sitting back from that front  
23 facade. That is what makes it where you will  
24 not be able to visually see it.  
25 We have made sure that the materials and

22

1 everything that in the way it is designed  
2 matches exactly what that initial original  
3 structure was including when we put the garage  
4 back in its place. We are using the same  
5 footprint.  
6 We have kept and we have lowered or  
7 shrunk the eave itself, but we're still  
8 keeping consistent with other eaves that are  
9 located on the house. They all range anywhere  
10 from about 2 feet to 3 and a half feet, so it's  
11 still matching in that with every bit of it.  
12 I guess I will -- that's pretty much all I  
13 had to say. I will leave it up to any  
14 questions that you may have.  
15 THE CHAIRWOMAN: Okay.  
16 MR. KASPER: I have a question.  
17 MR. STONE: Yes.  
18 MR. KASPER: How would you say that  
19 your -- the new addition is compatible with  
20 matching size and scale of the original?  
21 MR. STONE: I would say it matches quite  
22 nicely with it. The reality is that the  
23 existing footprint of the home, it ties in,  
24 creates just a full connected design with both  
25 pieces.

23

1 And on that note, one of the things we  
2 actually have done on the house is there are  
3 some existing spaces on that house that were  
4 added onto the home at a later date that do not  
5 match the current character of the home. We  
6 are actually removing those, upgrading it, and  
7 bringing it into the true historic context, in  
8 particular the screened in porch that has been  
9 added to the back of the house previously.  
10 MR. KASPER: But the scale of the  
11 current residence is a one story --  
12 MR. STONE: One-story versus two-story?  
13 MR. KASPER: The addition is a two-story  
14 addition so how is that the same scale?  
15 MR. STONE: I would base it off of less of  
16 existing structure and more of historical  
17 context. The reality is the historical context  
18 of the home itself doesn't necessarily lend  
19 itself to only being a one-story home. In the  
20 time period these were built, it would be very  
21 common to see a two-story house.  
22 MR. KASPER: How would you say your new  
23 addition is subordinate to the original?  
24 MR. STONE: We have pushed it back from  
25 that front facade so that we visually will not

24

1 be able to see it. That's the concept there.  
2 So it is tucked back there in that back corner  
3 giving the homeowner -- giving Ginger the space  
4 she requested without overbearing the existing  
5 structure.  
6 MR. KASPER: Then do you have -- I notice  
7 the prospective images are from the street  
8 level, but they are also from the sidewalk  
9 touching the property. I would assume that  
10 images from the sidewalk across the street  
11 would broaden the perspective and you would  
12 be able to see the addition more clearly.  
13 MR. STONE: You would be able to see it a  
14 little bit, but actually not a whole lot. The  
15 reality is that little bit of difference in the  
16 height, there is still prospective-wise going  
17 to keep us from being able to really see it.  
18 And we do have, I believe, the  
19 neighbor across the street here, so ...  
20 MR. KASPER: But the house isn't  
21 built yet so the neighbor can't see.  
22 MR. STONE: Of course. I understand.  
23 MR. KASPER: So I would caution the board,  
24 perspective is from a particular location,  
25 maybe not every location.

25

1 MR. STONE: Of course.  
2 MR. KASPER: That's all my questions.  
3 THE CHAIRWOMAN: Could you tell us what is  
4 the actual increase of square feet to the  
5 original because I know, you know, there were  
6 some changes in it?  
7 MR. STONE: So we are actually adding  
8 square footage -- additional square footage to  
9 the house is actually -- approximately 2160  
10 square feet. And we are subtracting 141 off of  
11 other parts of the house as well. So gross  
12 increase is about 1,900 square feet.  
13 THE CHAIRWOMAN: And what was the original  
14 square footage?  
15 MR. STONE: The original overall square  
16 footage of the house is 2800.  
17 THE CHAIRWOMAN: Any other questions of  
18 this presenter?  
19 Okay. You can sit down. We will  
20 call you back if we need to.  
21 Thanks.  
22 MR. STONE: Thank you very much.  
23 THE CHAIRWOMAN: The next person who is  
24 here to speak on this item.  
25 MS. BLAKE: Any more from the presenter's

26

1 staff?  
2 (No response.)  
3 MS. BLAKE: Okay. So I will just  
4 go in order then. David Foster.  
5 (Audience member approaches the podium.)  
6 MR. FOSTER: My name is David  
7 Foster. I live at 3331 St. Johns  
8 Avenue, Jacksonville, Florida 32205.  
9 MS. BLAKE: Do you affirm that the  
10 testimony you are about to give is the truth,  
11 the whole truth, and nothing but the truth?  
12 MR. FOSTER: So help me God.  
13 MS. BLAKE: Thank you.  
14 MR. FOSTER: Thank you all for your time  
15 this afternoon.  
16 I have got a letter on my porch a  
17 couple of weeks ago. I'm sure everybody  
18 here has seen this letter. From my  
19 understanding, it's from the gentleman who  
20 actually lives beside Ginger and Karma who  
21 I understand is also leaving the area so  
22 I'm a little flustered by why he is making  
23 such a situation. The question you  
24 mentioned earlier, Mr. Kasper, you made a  
25 comment about visually seeing something

27

1 from the road. Okay?  
2 A couple of things I would ask is, A, does  
3 everybody here owns a house? Okay. Does  
4 anybody like their house to look bad? The  
5 other question I was asked, how big are y'all's  
6 house? Okay. I find it interesting that  
7 somebody is calling it a McMansion.  
8 We live in a historic area. We live in a  
9 beautiful neighborhood. We are all fortunate  
10 to live in a great country, but it's  
11 interesting to me that would we rather be  
12 standing here talking about the house across  
13 the street from the people that made the  
14 original comment that the garage is falling in.  
15 The landscape looks like crap. Okay.  
16 We are talking about people that are ac  
17 adding value to a home. Okay. Now, I don't  
18 think any of you want to have your values  
19 depreciated. Last time I checked anytime  
20 somebody adds square footage and is improving,  
21 whether it is the view or the actual beauty of  
22 the house.  
23 Another question I was asked is, how many  
24 eyes have actually been out there and looked at  
25 this house? Has anybody physically been there?

28

1 Did you go back to the garage? The garage is  
2 falling in. It has a dirt floor. The thing is  
3 caving in.  
4 So my question would be to whoever it is  
5 that's complaining, historic or not, because  
6 it's historic should we let the roof fall in,  
7 let trees start growing out, rats and raccoons  
8 running around? Are we going to be here two or  
9 three years now going, you guys now have to  
10 spend money to fix that. That's ridiculous.  
11 These guys are spending money.  
12 And listen, I don't know how many of you  
13 all know this, Ginger -- I don't know how many  
14 properties she has in Avondale, 30, 40. She  
15 has added tremendous value to our neighborhood.  
16 I don't know where you guys live, but it would  
17 be the same as your neighborhood. Okay.  
18 In the investment business, there is  
19 something called the prudent man rule. Are any  
20 of you guys/ladies going to do something to  
21 your house that is going to physically alter it  
22 to make it look ugly. Nobody likes coming home  
23 to an ugly house.  
24 Okay. Everyone likes going home to the  
25 most expensive thing they ever spend money on

1 is their home. And these guys are simply  
2 trying to improve their house. Okay. Who are  
3 any of us to call somebody else a McMansion?  
4 If my house is bigger or their house is bigger,  
5 who cares? They are improving a historic  
6 house.

7 When I walked in, I saw the picture of a  
8 little old lady. If we could bring that old  
9 lady and man back to right now from 1909, I'd  
10 like to ask them, Guys, do you like the way the  
11 house is? We know the garage is falling in and  
12 it's looking kind of rundown. And you know  
13 what? If you can see that from the street --

14 The other thing too -- I have got 15  
15 seconds. There's a 40-foot wall behind  
16 Ginger's house. Somebody added a house behind  
17 her -- how many years ago? I don't think  
18 anybody complained about the 40-foot wall they  
19 put up there, okay, or the garage that's on  
20 their property. You can't even see the  
21 property from the people next door.

22 Thank you.

23 THE CHAIRWOMAN: Thank you.

24 MR. LOPERA: I have a question.

25 MR. FOSTER: Yes, sir.

1 MR. LOPERA: You mentioned the garage was  
2 falling apart. Do you have a structural  
3 engineering report or anything?

4 MR. FOSTER: You don't need it. You  
5 can -- Andres, if you went and looked at it,  
6 you would see it. It has a dirt floor. It's  
7 got cinderblock, like the builder said. They  
8 had them repair it.

9 Come on, guys. The fact that it is a  
10 historical house, aren't we supposed to  
11 improve and fix old stuff or do we just  
12 let it deteriorate, fall in and be worth  
13 nothing. I mean, come on, we are not  
14 deteriorating from the value of this home.  
15 Okay.

16 I live across the corner. I have got a  
17 beautiful house too. I am not going to do  
18 anything to make it look bad okay, despite what  
19 my neighbors thought.

20 THE CHAIRWOMAN: Yes, sir.

21 MR. KASPER: I don't believe the  
22 discussion here is whether or not we should  
23 deter renovating the garage. I think  
24 renovating the garage as it is would definitely  
25 be approved through this commission.

1 I would just draw your attention to  
2 the United States Secretary of Interior  
3 standards for rehabilitation guidelines of  
4 historic buildings and the fact that this  
5 building is in a historic district. So  
6 it's not the Commission or the Planning  
7 Department's intention to make a value or  
8 an opinion on whether this would look good  
9 or increase value. We simply have to  
10 follow the guidelines are quite clear on  
11 proper massing and scaling and being  
12 subordinate to a structure.

13 So we understand the intention to increase  
14 value. We understand the core focus to do an  
15 awesome building and a very nice building and  
16 contribute to the community. We are in no  
17 means against that --

18 MR. FOSTER: And I wasn't  
19 insinuating it.

20 MR. KASPER: -- we just have to follow  
21 guidelines.

22 MR. FOSTER: And guidelines are like the  
23 speed limit. They're a guideline. You can  
24 drive 10 miles over the speed limit and not get  
25 a ticket. Okay. I'm wondering --

1 MR. KASPER: It doesn't make it legal.

2 MR. FOSTER: -- did we have this meeting  
3 when the old -- the condos which Ginger -- I  
4 think they own one of two of those. That is a  
5 three-story building. When they walk out of  
6 their house, they are looking at, you know, 50  
7 feet, they're -- was there an issue back then  
8 when they built a 50-foot building?

9 My whole point is they are not adding  
10 a McMansion. They certainly want to  
11 improve what they have got. Okay. And if  
12 any of you guys are lucky to have it,  
13 would you rather look good or would you  
14 rather have a garage with dirt falling in.  
15 If it was your house, you would want to do  
16 the same thing. That is my only point.  
17 Okay.

18 Thank you.

19 THE CHAIRWOMAN: Thank you.

20 MS. BLAKE: Deborah Mackeny -- Mackeny. I  
21 apologize.

22 (Audience member approaches the podium.)

23 MS. BLAKE: Would you please state your  
24 name and address for the record.

25 MS. MACKENY: It's Deborah Mackeny, 1769

1 Glendale Street, Jacksonville, Florida 32205.

2 MS. BLAKE: Do you affirm that the  
3 testimony you are about to give is the truth,  
4 the whole truth, and nothing but the truth?

5 MS. MACKENY: Yes, I do.

6 MS. BLAKE: Thank you.

7 MS. MACKENY: And I will make it very  
8 quick.

9 I am -- I was Ginger's friend when  
10 she bought this house. And quite  
11 honestly, when she bought it, I looked  
12 around and thought what were you thinking?  
13 I mean, it was -- it looked like it did in  
14 those pictures. And she has taken it from  
15 a house to a home, and she has done a  
16 great job.

17 I think, I was around when she put the  
18 fencing around, and there was so many concerns  
19 about that, and we went through meetings like  
20 this. And that fence around her pool area now  
21 looks like it has always been there. I would  
22 challenge any one of you to walk up there and  
23 see if you could tell the difference in that  
24 fencing.

But, again, I live a quarter mile. I

1 think there are many homes. There were just  
2 two built across -- literally two houses down  
3 from me that are to me not in a historic nature  
4 at all. I know that's not what we're talking  
5 about here today, but I just think again they  
6 are guidelines. But I want to say that I  
7 support Ginger. I know she's going to do a  
8 great job.

9 I was one of her ambassadors when the  
10 house went through the RAP tour. And I can  
11 tell you she doesn't take the history of that  
12 house lightly. She was very proud of the  
13 history. I think she always tries to do what  
14 she feels is best for the nature of the house.

15 But she and Karma are very tied to the  
16 history of that house, and they don't take that  
17 lightly. And I am a hundred percent confident  
18 they would never do anything that is going to  
19 change the nature of that house.

20 That's it. Thank you.

21 THE CHAIRWOMAN: Thank you.

22 MS. BLAKE: Keith Holt.

23 (Audience member approaches the podium.)

24 MR. HOLT: Keith Holt, 1804 Avondale  
25 Circle, Jacksonville 32205.

1 MS. BLAKE: Raise your right hand, please.

2 Do you affirm that the testimony you  
3 are about to give is the truth, the whole  
4 truth, and nothing but the truth?

5 MR. HOLT: I do.

6 I'm here as chairman of RAP,  
7 Riverside Avondale Preservation. And what  
8 I wanted to do is -- we have submitted  
9 into the record support for the project.

10 There's always a difference of opinion.  
11 Sometimes when you are examining  
12 guidelines in this particular case our  
13 executive director, Adrienne Burke has  
14 reviewed the Secretary of Interior's  
15 guidelines, site visited the property and  
16 is in support of the property as it exists  
17 and proposed, and so I wanted to be here  
18 today in support.

19 Thank you.

20 THE CHAIRWOMAN: Thank you for  
21 coming.

22 MS. BLAKE: Carl Kenna.

23 MR. KING: King.

24 (Audience member approaches the podium.)

25 MS. BLAKE: Okay. If you would state your

1 name and address for the record.

2 MR. KING: Carl King. My address is 1346  
3 Azalea Drive, here in Avondale.

4 MS. BLAKE: Do you affirm that the  
5 testimony you are about to give is the truth,  
6 the whole truth, and nothing but the truth?

7 MR. KING: I do.

8 I am Carl. I have known Ginger, and  
9 I have known the proposed builder for a  
10 number of years. I am here to support  
11 them because of the fact that I know that  
12 things that they have done for the  
13 neighborhood, and I know that Joe is a  
14 historical builder. He does a lot of  
15 historical neighborhoods. I feel like I  
16 would know what the guidelines are, and  
17 this is my opinion.

18 My degree is in interior design so I'm  
19 familiar with some aspects of historical  
20 building, and I just feel like Ginger's done a  
21 lot to improve the neighborhood; had several  
22 houses. I have seen several of the  
23 renovations, things that she has been involved  
24 with.

25 So like I said, it is just an opinion,

1 but ...

2 THE CHAIRWOMAN: Thank you --

3 MR. KING: Thank you.

4 THE CHAIRWOMAN: -- so much.

5 MR. LOPERA: Thank you.

6 MS. BLAKE: Carlos Maza.

7 (Audience member approaches the podium.)

8 MS. BLAKE: Are you-all laughing at me?

9 MR. MAZA: Yes. My names is Carlos Maza,

10 3118 Oak Street.

11 MS. BLAKE: If you would raise your right

12 hand, please.

13 Do you affirm that the testimony you

14 are about to give is the truth, the whole

15 truth, and nothing but the truth?

16 MR. MAZA: I do.

17 MS. BLAKE: Thank you.

18 MR. MAZA: So I am -- I have been a

19 resident for the Avondale Riverside Avenue

20 since 2000. I own multiple properties in the

21 area too, and I have known Ginger for about

22 maybe 25 years before she even bought this

23 house.

24 As Debbie said, I saw the house

25 before Ginger because it and I have seen

1 what she did. She rescued that home, and

2 I know the love that she has for that

3 home. I have been to that home multiple

4 times. And if you guys haven't been

5 there, I invite you to come and see it

6 because what she has done to that

7 property, it's beautiful.

8 I saw it before and after the addition of

9 the columns and the fence at the front, and she

10 has impeccable taste. I have trust blindly

11 that she's going to do the best for the

12 neighborhood. I love and respect living in a

13 historic area. And as most of the people live

14 in that area, they don't want to see a lot of

15 changes.

16 But I know what she does and what she will

17 do this house, I know it will be beautiful.

18 That is what I have to say.

19 THE CHAIRWOMAN: Thank you.

20 MS. BLAKE: Ben Johnson.

21 (Audience member approaches the podium.)

22 MR. JOHNSON: Right. Smith will be next.

23 I actually hoped you would call me next.

24 My name is Ben Johnson, 4216 Beverly

25 Avenue, Jacksonville.

1 MS. BLAKE: Do you affirm that the

2 testimony you are about to give is the

3 truth, the whole truth, and nothing but

4 the truth?

5 MR. JOHNSON: Yes.

6 MS. BLAKE: Thank you.

7 MR. JOHNSON: Again, my name is Ben. I

8 live in the Avondale area. My family has lived

9 in Avondale just shy of 100 years. I am a

10 fourth generation living in the area and all

11 that.

12 I do have a special appreciation for

13 all that goes into what, you know, the

14 commission does, all the research that

15 goes into all this. So I really thank all

16 of you-all for doing this.

17 When I saw -- actually found out about

18 this. I have known Ginger for years, but I

19 found out about it through the residents about

20 what she was planning on doing. And the moment

21 I saw it, I got excited because I have seen her

22 home. I have seen what she has done over the

23 years of what she's done.

24 And it's been said over and over again

25 about our character and about what she has do

1 to that home. She has saved it, as Carlos

2 said. But not only has she saved it, I have

3 heard what she pays on her electric bill on

4 that house. It's not easy to keep up those old

5 homes. And she's not in it just to have the

6 big home. She has it because that is where her

7 heart is. This is her home. This is her

8 heart.

9 So I know what she is going to do is going

10 to be impeccable for the neighborhood and

11 impeccable for that home. And I really hope

12 you approve it because I can't wait to see.

13 And looking at these pictures of what the

14 new revised addition is just so minimal. It

15 really is not going to make a major impact. If

16 anything, you are going to look at and to, wow,

17 I'm glad I approved that, and you are going to

18 tell other people that you were part of that.

19 Thank you.

20 MS. BLAKE: Joe Miller.

21 (Audience member approaches the podium)

22 THE CHAIRWOMAN: I just wanted to also

23 say, if you could speak slowly and help our

24 stenographer who is working hard.

25 COL MILLER: My name is Joe R. Miller,



41

1 Colonel U.S. Army retired, 1744 Challen Avenue,  
2 Jacksonville, Florida 32205.

3 I can speak real slow if you would  
4 like, but I will try to do normal.

5 MS. BLAKE: Do you affirm that the  
6 testimony you are about to give is the  
7 truth, the whole truth, and nothing but  
8 the truth?

9 COLONEL MILLER: I do.

10 MS. BLAKE: Thank you.

11 COLONEL MILLER: First of all, thank you  
12 all for being here today. I live two doors  
13 down and I do not stand here in either  
14 opposition or in a pro status for this. I  
15 stand as a concerned citizen.

16 We have a landmark facility here that  
17 is one of the original homes in the  
18 Avondale neighborhood. We have a  
19 responsibility as this panel does to  
20 ensure that these landmark homes are  
21 preserved to the best extent possible.

22 I do not have any objections to what I  
23 have seen Carmen and Ginger do in the past. I  
24 think they have done an outstanding job with  
25 regard to the care and maintenance of their

42

1 home. It is one of the premier homes in the  
2 neighborhood. However, my concern is the size,  
3 the scope of this change, and what this will do  
4 to the pedigree or the landmark status of the  
5 home itself for the future.

6 That's your task today is to make a  
7 determination whether this falls within the  
8 normal guidelines or whether you find exception  
9 to this. Your job is extremely difficult, and  
10 I wish you the best of luck with this. We have  
11 a very few of these landmark homes in the  
12 neighborhood. And to the most extent possible,  
13 we should do everything we can to try to  
14 preserve those and keep the integrity of the  
15 homes themselves.

16 I am sure the architects have done a very  
17 good job from what their discussions are, but  
18 does that fall in line with the guidelines that  
19 you are required to administer or to adjudicate  
20 here today. And I wish you luck. Thank you.

21 THE CHAIRWOMAN: Thank you.

22 MS. BLAKE: William Wells.

23 (Audience member approaches the podium.)

24 MR. WELLS: I am William Wells. I live at  
25 13850 Talbot Avenue, Jacksonville, Florida

43

1 32205.

2 MS. BLAKE: Raise your right hand.

3 Do you affirm that the testimony you  
4 are about to give is the truth, the whole  
5 truth, and nothing but the truth?

6 MR. WELLS: Yes, ma'am.

7 THE CHAIRWOMAN: Thank you.

8 MR. WELLS: All right. So I am a lifelong  
9 resident here of Jacksonville. I just wanted  
10 to come here and send my support -- show my  
11 support for Ginger and the improvements that  
12 she is looking to do. We are actually, you  
13 know, despite all the work that you guys have  
14 to do and all the extra work this has created,  
15 we are happy you are here. Living in the  
16 historic area, we want to make sure there's  
17 nothing that is going to become an eyesore for  
18 our area or anything like that. So are happy  
19 that you guys are doing what you are doing.

20 I'm just here to say as a friend and  
21 supporter of Ginger, she has done work on  
22 her house previously, which look amazing  
23 and are exactly in mind with the historic  
24 nature of the neighborhood.

25 As Ben pointed out earlier, if Ginger just

44

1 simply wanted a bigger house, she could move to  
2 any other area and make that happen. But it  
3 really means something to her to live in the  
4 historic area that we do, and we appreciate  
5 that.

6 Ginger has been recognized for her  
7 humanitarian efforts in our area. She cares  
8 deeply about the historic nature of our  
9 neighborhood, so I just wanted to come out and  
10 say words in support of her. Thank you.

11 THE CHAIRWOMAN: Thank you.

12 MS. BLAKE: Okay. Mr. Henry.  
13 (Audience member approaches the podium.)

14 MR. HENRY: Yes. Hello. My name is Josh  
15 Henry, 3420 St. Johns Avenue.

16 MS. BLAKE: Raise your right hand.

17 Do you affirm that the testimony you  
18 are about to give is the truth, the whole  
19 truth, and nothing but the truth?

20 MR. HENRY: Yes, I do.

21 MS. BLAKE: Thank you. I am a neighbor of  
22 Karma and Ginger, and I just wanted to come out  
23 and show my support for their addition to their  
24 beautiful home. It is a historical piece.

25 Owning these large historical homes

1 is very expensive, and it needs some  
2 modernization from kitchens, bathrooms,  
3 and occasionally you just need to take up  
4 and make the house a little larger. And  
5 the property would allow it. It would be  
6 an wonderful benefit to them to be able to  
7 expand their home to enlarge their family  
8 and their lives, their home, and to be  
9 able to enjoy it.

10 Thank you.

11 MS. BLAKE: James --

12 MR. BUCHHOLZ: That is probably me.  
13 (Audience member approaches the podium.)

14 MS. BLAKE: Okay. State your name and  
15 address for the record.

16 MR. BUCHHOLZ: James Buchholz. That's  
17 B-u-c-h-h-o-l-z, for you. And it is 1786  
18 Challen Avenue, 32205.

19 MS. BLAKE: Raise your right hand.

20 Do you affirm that the testimony you  
21 are about to give is the truth, the whole  
22 truth, and nothing but the truth?

23 MR. BUCHHOLZ: I do.

24 MS. BLAKE: Thank you.

25 MR. BUCHHOLZ: So I live just next door in

1 the 50-foot monstrosity that David had  
2 mentioned earlier. And so in looking out the  
3 window, I can see the property. And mainly I  
4 am here just to say that everything I have seen  
5 Ginger and Karma do is beautiful, and it is  
6 elegant and it makes our street better for it.

7 And you have heard a lot of other  
8 people talk and say similar things, so  
9 that's really all I wanted to add. I am  
10 looking forward to seeing it from my  
11 window, and hopeful this goes through  
12 quickly.

13 Thank you so much.

14 MS. BLAKE: Karma Harris.

15 (Audience member approaches the podium.)

16 MS. KARMA HARRIS: Hello. My name is  
17 Karma Harris and I live at 1776 Challen Avenue.

18 Talking slow for me won't be a  
19 problem because of my accent.

20 MS. BLAKE: Okay. If you would  
21 raise your right hand, please.

22 Do you affirm that the testimony you  
23 are about to give is the truth, the whole  
24 truth, and nothing but the truth?

25 MS. KARMA HARRIS: Yes ma'am.

1 MS. BLAKE: Thank you.

2 MS. KARMA HARRIS: So I have the privilege  
3 of calling this house my home. I have lived  
4 here now for about seven years. And I support  
5 our proposed renovation, and I think you should  
6 support it too for the following reasons.

7 Number one, our house is listed at is  
8 really about 2300 square feet minus the  
9 detached garage, but only about 17 or 1800  
10 square feet of that is livable.

11 In 109 years since this home was built,  
12 the garage has not been refinished from its  
13 original build. If you walk into it, you would  
14 see that. Only the outer shell exists.

15 Number three, our house does not currently  
16 have a master bedroom nor are the two bedrooms  
17 currently big enough to serve as a master  
18 bedroom. This renovation will give us the  
19 needed space that we have to have.

20 Number four, Ginger is only the third  
21 owner in 109 years and has owned it for 21 of  
22 those years. When she bought the house, one  
23 could easily make the case that the house was  
24 dilapidated, near legal condemnation status and  
25 not at all liveable. She revitalized this

1 house and made it the beautiful landmark that  
2 you all get to enjoy today. Without doing that  
3 initial renovation, it would not be liveable.

4 Number five, she has flipped approximately  
5 40 houses in neighborhood and has maintained  
6 historical preservation each time during all of  
7 those renovations. And we've also paid our  
8 taxes on all of them.

9 Number six, we would never do anything to  
10 the home that would detract from its front  
11 historical facade, and we vow to match all  
12 other items as closely as possible. The front  
13 of the house has not changed. The side where  
14 the pool is at will not change.

15 Number seven, maintaining historical  
16 architecture is our goal and we are extremely  
17 tasteful in our renovations and the look of our  
18 home. I feel it's an ethical obligation of you  
19 as a board to allow dedicated residents like us  
20 with long-standing cooperation to make  
21 improvements to the back of this house.

22 We are not altering the front of the house  
23 at all. This will not only improve our  
24 liveability, but it increases our property  
25 value and those of others around us. And this

1 is critical to your credibility as a board and  
2 to your ability to maintain the caliber of  
3 owners who love, care and take care of the  
4 neighborhood.

5 Number eight, we have one of the smallest  
6 houses on our corner. There is a noticeable  
7 difference on the scale and size of other's  
8 property buildings and that of ours. Regarding  
9 that, we also have one of the lowest square  
10 footages. My wife can actually speak to -- if  
11 this goes through and gets approved how our  
12 house and square footage and still be smaller  
13 than others in our close proximity.

14 And finally, we do have a lot of support  
15 from our immediate and extended neighbors for  
16 this project. A couple of the opposers that we  
17 are aware about is located directly behind us.  
18 They currently have their home for sale. They  
19 have never liked this neighborhood in the two  
20 or three years since they have been here. I  
21 think that's important for you all to consider  
22 as to what their stake in it is.

23 And the second opposer that we know feels  
24 strongly against us is across in the big house  
across Riverside. He's an older gentleman and

1 no longer lives in that home.

2 Thank you.

3 MS. BLAKE: Randy Rambo.

4 (Audience member approaches the podium.)

5 MR. RAMBO: Good afternoon. My name is  
6 Randy Rambo. I live on 3333 Riverside Avenue,  
7 Jacksonville, Florida 32205.

8 MS. BLAKE: Raise your right hand, please.

9 Do you affirm that the testimony you  
10 are about to give is the truth, the whole  
11 truth, and nothing but the truth?

12 MR. RAMBO: I do.

13 Thank you for letting me come up here  
14 today. I am just here to support Karma  
15 and Ginger. We live in our house. We are  
16 catercorner from their house, and we have  
17 been there five and a half years, my wife  
18 and two children.

19 And they have a beautiful house. They are  
20 beautiful neighbors and they do a great, great  
21 job. And I just wanted to let you know -- I'm  
22 not an architect. I'm not an interior  
23 decorator, but I am a neighbor. I usually have  
24 a cocktail on my porch every afternoon, and I  
25 look at their house and it's beautiful. They

1 are beautiful neighbors.

2 Ginger walked me through the inside of the  
3 house. They are trying to make it better and  
4 living conditions. They're outstanding. So  
5 please support the changes they are trying to  
6 make.

7 I understand the rules and regulations,  
8 and we should abide by them, but I will tell  
9 you they love that house and they love the  
10 history. And we are in a great neighborhood.  
11 So please support the changes they are asking  
12 for.

13 Thank you.

14 MS. BLAKE: Steve Waters.

15 (Audience member approaches the podium.)

16 MR. WATERS: My name is Steve Waters. I  
17 live at 3579 Riverside Avenue 32205.

18 MS. BLAKE: Raise your right hand, please.

19 Do you affirm that the testimony you  
20 are about to give is the truth, the whole  
21 truth, and nothing but the truth?

22 MR. WATERS: Yes.

23 I too have known Ginger like most of  
24 these people, 20, probably 23, 24 years.  
25 I can remember the day she carried me by

1 this house. It's the first time I ever  
2 realized that crackheads smoked crack out  
3 of glass lightbulbs because they were  
4 scattered all about the place. That is  
5 what kind of shape this property was in,  
6 boarded up.

7 I'm like, why the hell would you want to  
8 move here when you have got a beautiful house,  
9 a beautiful ranch house in Mandarin? I love  
10 this house. I'm going to restore this house.  
11 And that's exactly what she has done.

12 I ride by this house on my bicycle almost  
13 every day or walk by it or drive by it. Nobody  
14 walks through the neighborhood looking to say,  
15 I wonder how much they have back there in the  
16 backyard, how much square footage is back  
17 there? You are not going to see this. It's  
18 not like she adding on to the side of the  
19 house.

20 And I understand the job that you have is  
21 very difficult. In Blackshear, Georgia, where  
22 I was a Ford dealer, I helped establish the  
23 historic commission there. And I had to bring  
24 in the historic resources team to do a survey  
25 when we did our streetscape. I understand -- I

53

1 have been through three mayors and four  
2 different councils. I understand the entire  
3 process on both sides. I know the guidelines  
4 that you have are exactly that, a guide. They  
5 are not exactly a law.

6 Ginger, everything she does is right. A  
7 friend of mine with United Airlines was signing  
8 me up under his buddy pass. And he was looking  
9 at my information that was pulled over from the  
10 old Continental Airlines. And he said why is  
11 Ginger Harris your emergency contact? And I  
12 said, I trust her to do the right thing if  
13 something happens.

14 And that's what this all comes down to at  
15 the end of the day is trust. I think you  
16 should trust her too.

17 MS. BLAKE: Rick Beaver.

18 (Audience member approaches the podium.)

19 MR. BEAVER: Rick Beaver, 3338 Riverside  
20 Avenue.

21 MS. BLAKE: Do you affirm that the  
22 testimony you are about to give is the truth,  
23 the whole truth, and nothing but the truth?

24 MR. BEAVER: I do.

25 MS. BLAKE: Thank you.

54

1 MR. BEAVER: Again thank you for seeing us  
2 again. I believe there are three issues that  
3 you're discussing. That is historical value of  
4 the house, the density of the new square  
5 footage that is being put on the property, and  
6 the visual impact that it will have on the  
7 neighborhood.

8 My wife and I live directly across  
9 the street. I've spoke to you the last  
10 time I was here. I spend my evenings in  
11 the kitchen getting ready for dinner, and  
12 I look directly out at their property.  
13 When we're out in the yard, we're looking  
14 directly at the property.

15 So from a visual standpoint, the last time  
16 we were here, you had asked that the house  
17 possibly be brought down a bit so that from the  
18 road the impact may not be as dramatic as it  
19 may have been. And I believe they have done  
20 that. They brought it down a full 24 inches.  
21 I think that's very important.

22 As you walk around to the corner, if you  
23 are looking catercorner from Randy's house,  
24 which he spoke to, the visuals that you see up  
25 here are so stark. There is no landscape

55

1 around it. And if you walk around the corner  
2 and you look at where the new footprint will  
3 be, there's a great deal of trees and palms and  
4 hardwoods that completely take out the visual  
5 side.

6 So from the density side, what I see they  
7 are adding square foot so they can, you know,  
8 increase their lifestyle within the house and  
9 have the larger bedrooms that they would like  
10 to have and are entitled to. But the visual  
11 impact they are creating a courtyard back  
12 there, and that's what the structure will be.  
13 So I do understand that, yes, they are adding  
14 more square footage, but are they actually  
15 adding more density or visual density to the  
16 property? I don't believe so.

17 Historically, what Ginger has done with  
18 that property over the years has maintained the  
19 integrity of that exterior look. She had some  
20 issues when she added the pool and wanted to  
21 create a fence around the property, and those  
22 concrete pillars with the wrought iron fence  
23 that are between them, if you drove by them  
24 today and didn't know that Ginger had installed  
25 those, you would think they were part of the

56

1 original property.

2 So from an integrity standpoint, Ginger  
3 and Karma are going to maintain that historical  
4 look. The towers as people are calling them in  
5 the back are just additional square footage  
6 that will wrap around the property creating  
7 like a courtyard atmosphere.

8 And from my perspective and my wife's  
9 perspective who is here today, visually I think  
10 perspective when you look at drawings and  
11 they are drawn starkly, they don't have the  
12 distance between them. I haven't seen the new  
13 renderings, but I can visually understanding  
14 architecture from my history, I know from  
15 standing where I am in my yard I will be very  
16 pleased what they will do.

17 So thank you for your consideration.

18 MS. BLAKE: Dwayne Holden.

19 (Audience member approaches the podium.)

20 MR. HOLDEN: Dwayne Holden, 2064 Herschel  
21 Street.

22 MS. BLAKE: Do you affirm that the  
23 testimony you are about to give is the truth,  
24 the whole truth, and nothing but the truth?

25 MR. HOLDEN: I do.

57

1 MS. BLAKE: Thank you.  
2 MR. HOLDEN: I have lived in the Riverside  
3 Avondale area for almost 30 years. Like  
4 William said, we really appreciate you guys for  
5 protecting us from people that are not like  
6 Ginger. We don't need protection from Ginger.  
7 She adds value to out neighborhood.

8 One thing -- everyone has pretty much  
9 said everything, but houses institution  
10 but these ladies are institutions of the  
11 neighborhood. I mean, you can go by there  
12 a few times a year and get a tour.  
13 Everyone knows the house. Everyone loves  
14 the house.

15 They are best guardians -- I have never --  
16 don't know anybody who is more proud of the  
17 historical significance of their house and more  
18 proud of their home. Just like everyone said,  
19 Go by. It's gorgeous. I encourage you to do  
20 that. And that will also show you what they  
21 have arranged -- you can't see it from the  
22 road. Everyone else has said that old garage,  
23 you can't see it.

24 They are not -- like Karma said, they are  
25 not trying, when you go in the house, it

58

1 doesn't feel that big. They don't have a  
2 master bedroom. So what they are trying to do,  
3 they just need more room. That's all.

4 THE CHAIRWOMAN: Ms. Blake, how  
5 many more cards are there?

6 MS. BLAKE: One.

7 THE CHAIRWOMAN: Can you do one more?

8 MS. BLAKE: John -- just John.

9 MR. GALLAGHER: Gallagher.

10 (Audience member approaches the podium.)

11 MR. GALLAGHER: Good afternoon.

12 MS. BLAKE: State your name and address.

13 MR. GALLAGHER: John Gallagher, 3418  
14 Riverside Avenue, Jacksonville, Florida.

15 MS. BLAKE: All right. I need you to tell  
16 you. Raise your right hand.

17 Do you affirm that the testimony you  
18 are about to give is the truth, the whole  
19 truth, and nothing but the truth?

20 MR. GALLAGHER: I do.

21 Ladies and gentlemen, thanks for  
22 allowing me to speak this afternoon. I'm  
23 actually the only neighbor who is directly  
24 affected by this. And what we are dealing  
25 with are brick, cement, unfinished gray

59

1 structures 26 feet tall that I am going to  
2 be facing in my driveway and my backyard.  
3 These are just basic cement structures.  
4 They are not finished. They going to be  
5 extremely ugly.

6 Right now I have a sky view and open tree  
7 area view. That is all going to change. And I  
8 am just hoping none of you have a neighbor that  
9 would want to do something to your property as  
10 this.

11 And it's actually a request to double the  
12 size of their property. It's just not a little  
13 addition that you don't see or this or that.  
14 It's basically a 2400 square foot house, and  
15 now they want to change to 4903, give or take,  
16 with the square footage.

17 This tall 26 foot -- and basically this is  
18 the same application as what we were faced with  
19 before. It's just a two foot reduction. And  
20 the eave is no longer hanging into my property  
21 which, you know, I'm grateful for but that's  
22 not really my main beef.

23 I believe if this goes through, it is  
24 seriously going to diminish my property's  
25 value. We are dealing with basically 12 months

60

1 of construction here with bulldozers, cranes,  
2 jackhammer, whatnot. I have an original 1920  
3 garage two feet from the property line that is  
4 likely to be damaged by all of the construction  
5 and chaos that's going to go on for 12 months.

6 As far as the RAP director, I'm kind of  
7 confused by their position in this because the  
8 day before the hearing, she phoned me at 3:30  
9 in the afternoon, the day before the last time  
10 we were here, and said she had reviewed the  
11 plans and she found them outrageous that  
12 anybody would submit such an application. She  
13 asked me to get all the neighbors that I could  
14 here to object to it.

15 And then she met with the applicant in the  
16 hallway the morning of -- the afternoon of the  
17 hearing for a couple of minutes and completely  
18 changed their mind. So I'm kind of confused by  
19 that. I don't understand it, and that is  
20 neither here for there.

21 I think there are a lot of other people  
22 that have objected to this, but unfortunately  
23 they think it is a regulatory issue with RAP  
24 and they have emailed and called RAP and not  
25 the commission. So I think that's something

61

63

1 that should be noted.  
 2 The other thing this application is  
 3 predicated upon the supposition and the  
 4 representation that this garage building -- and  
 5 this garage building is also original on the  
 6 property. It's the oldest structure in  
 7 Avondale. This whole application is built on  
 8 the supposition that it's falling down. It's  
 9 clearly not. You could see by the photographs  
 10 it is in pretty good condition.  
 11 If the inside needs some repairs, that  
 12 should be done. Pretty much all of our garages  
 13 in Avondale have water flow that come into them  
 14 during heavy rains. And we need to continually  
 15 maintain them and whatnot. And that should be  
 16 done with this case. The building shouldn't be  
 17 torn down.  
 18 Thank you.  
 19 THE CHAIRWOMAN: Thank you. I  
 20 think we're going to need to take a  
 21 break. I apologies, I know you-all are  
 22 here.  
 23 We need to take five minutes.  
 24 MS. FETNER: I'm going to suggest  
 25 just for transparency purposes so no one

1 procedure, you are giving the rebuttal as agent  
 2 for the applicant?  
 3 MR. STONE: As the agent for applicant,  
 4 yes, ma'am.  
 5 MS. BLAKE: Just state your name again.  
 6 MR. STONE: Okay. David Stone.  
 7 I just wanted to speak to a couple of  
 8 very simple items. I know what you are  
 9 doing -- dealing with and going through as  
 10 a board that has to deal with historic  
 11 preservation. My office and the owner of  
 12 my company has sat on a board very similar  
 13 to what you're going through. So I want  
 14 to sort of speak to two very simple items.  
 15 One of which is when you talk about  
 16 historic preservation of an existing structure,  
 17 that's what you are doing, is an existing  
 18 structure, not an existing property. So you  
 19 are allowed to make a significant addition to a  
 20 project as long as you are making a minor  
 21 connection to that existing structure.  
 22 For instance, if you look at the  
 23 Guggenheim Museum in New York, the existing  
 24 Guggenheim Museum in New York, which I can show  
 25 you an image of, was the white structure done

62

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1 is concerned about chatting, I'm going  
 2 to ask the commissioners to stay in your  
 3 seats and let the reporter go and get  
 4 whatever she needs. And then we will  
 5 start right back up unless you have to  
 6 go to the bathroom.  
 7 No chatting.  
 8 (Brief recess)  
 9 THE CHAIRWOMAN: All right. I  
 10 would like to call this meeting back to  
 11 order. Any -- before we close the  
 12 public hearing, are there any questions  
 13 of any of the people who presented?  
 14 MS. FETNER: Well, you don't have -- once  
 15 you start a discussion, you can call anyone  
 16 back up.  
 17 (Mr. Stone approaches the podium.)  
 18 MR. STONE: Madam Chair, I'm sorry.  
 19 May I have just like 30 seconds to  
 20 speak to a rebuttal?  
 21 THE CHAIRWOMAN: Yes.  
 22 MS. FETNER: That is standard.  
 23 THE CHAIRWOMAN: It is, yes.  
 24 MR. STONE: Thank you.  
 25 MS. FETNER: Just for purposes of

1 by Frank Lloyd Wright in the 1950s. In 1998  
 2 after the guidelines had been put in place --  
 3 and this was a historic landmark structure,  
 4 they added a significantly taller tower behind  
 5 it. The way that it got approved, not by a  
 6 local board but by a national board, was by the  
 7 sheer fact it is a minor connection that's  
 8 done.  
 9 So we have actually done with this  
 10 addition is made the connection to the existing  
 11 house and the alteration of the existing  
 12 structure exceptionally minor. So that's what  
 13 we need to -- I want to sort of make sure is  
 14 understood here. The addition -- we are making  
 15 an addition onto an existing historic home. We  
 16 are not altering an historic home. That  
 17 existing home is going to stay in its exact  
 18 condition with a minor connection to connect  
 19 the two pieces of the houses. So I want to  
 20 make sure that is clearly understood as you  
 21 look at the guidelines and go forward.  
 22 The other piece I would like to mention is  
 23 I actually misspoke slightly to your question  
 24 with regards to a two-story structure -- it  
 25 being a two-story structure. The reality is

1 the existing home is a two-story structure  
2 because it does have a two-story tower, and our  
3 addition matches that existing two-story tower.

4 So I would actually sort of add that piece  
5 of clarification. We are not adding a second  
6 story onto this home. We are simply creating  
7 an addition in the background. Thank you.

8 THE CHAIRWOMAN: Thank you.

9 MR. KASPER: You brought it up.

10 MR. STONE: That's fine.

11 MR. KASPER: The proposed design is your  
12 proposed addition is comparable in style and  
13 material, and you're making the case that it is  
14 comparable to scale. So I think that is  
15 counter to the Guggenheim argument where they  
16 purposely used different materials, different  
17 style and, therefore, set itself apart. And  
18 there is portions that talks about where if you  
19 make an addition, make sure it is distinct so  
20 you can say, okay, this was built at a  
21 different time period.

22 So I'm not sensing that that's the  
23 direction that you are presenting.

24 MR. STONE: Correct. But what we  
are trying to simply state is that --

1 MR. STONE: I don't think any of  
2 you want that.

3 THE CHAIRWOMAN: Thank you.

4 MR. LOPERA: Through the chair.

5 THE CHAIRWOMAN: Yes.

6 MR. LOPERA: Could you bring up the  
7 proposed left elevation?

8 MR. STONE: That is the rear. That is  
9 going to be on the next page.

10 MR. LOPERA: So you mentioned a few times  
11 about the addition being subordinate to the  
12 existing structure; is that correct?

13 MR. STONE: Correct.

14 MR. LOPERA: So if I am looking at --

15 MR. STONE: It is not going to pop up  
16 there. I think I understand your point.

17 MR. LOPERA: I'm looking at the program  
18 called Onscreen Takeoff. Then I'm looking at  
19 the original here. Would you still agree that  
20 this addition is subordinate to the original  
21 here?

22 MR. STONE: I would actually, simply  
23 because it is in the rear back of this  
24 property. So we are not making this the  
25 forefront. It is still subordinate in location

1 would you prefer us to do that? Because  
2 I don't think that is what is going to  
3 make anybody in this room happy to put a  
4 giant white box behind the building.

5 MR. KASPER: That was the argument you  
6 brought up. I think that is how the Guggenheim  
7 works. It clearly looks different. And I  
8 think here what you are trying to do is you are  
9 trying to make it look the same or similar.

10 MR. STONE: And not attach or connect in  
11 any major way. That is why RAP -- if they were  
12 here, I wish she was here. That's why she has  
13 actually felt better -- oh, he is here.

14 But that was one of the things they  
15 mentioned to us was the sheer fact that  
16 because it is such a minor connection to  
17 the existing building and such a minor  
18 alteration of the existing building that  
19 she felt it does match and meet the  
20 guidelines of the Interior's. That is my  
point.

22 Otherwise, I can design a giant white box  
23 to put behind it. Modern design is right up my  
24 alley.

25 (Laughter)

1 and importance to the existing structure.

2 MR. LOPERA: So based on the facial square  
3 footage, the left building is smaller than the  
4 right building.

5 MR. STONE: Yes, from a linear footage of  
6 frontage. I haven't done the exact takeoff but  
7 I would imagine it is smaller in footprint than  
8 the existing structure. Actually I know it is  
9 smaller in footprint than the existing  
10 structure because it is only an 1100 square  
11 foot footprint.

12 MR. LOPERA: It doesn't look smaller. To  
13 me, it looks bigger than the right.

14 MR. STONE: I draw elevations on a daily  
15 basis, and I hate looking at them for that very  
16 reason because it doesn't actually give you a  
17 clear depiction of what you are actually going  
18 to be seeing.

19 MR. LOPERA: I would say the same thing  
20 for the right elevation. If you scroll up a  
21 little bit.

22 MR. STONE: Yes, and again --

23 MR. LOPERA: So for the proposed left  
24 elevation you are saying the building on the  
25 left is smaller than the one on the right from

1 a square footage --  
 2 MR. STONE: -- from a footprint square  
 3 footage standpoint.  
 4 MR. LOPERA: Using the Onscreen Takeoff --  
 5 MR. STONE: I don't have those numbers.  
 6 MS. FETNER: Everyone needs to just --  
 7 MR. STONE: Sorry.  
 8 MS. FETNER: -- slow down and take turns  
 9 talking because there's a court reporter here,  
 10 and all will be dot, dot, dot. It will be  
 11 simultaneously.  
 12 MR. LOPERA: Okay.  
 13 MS. FETNER: It's not good.  
 14 MR. LOPERA: Also for the proposed right  
 15 elevation, we are looking at the original  
 16 becoming here and then right here, also being  
 17 subordinate.  
 18 MR. STONE: Yes, I would still call that  
 19 subordinate structure. It is pushed back from  
 20 this point any it is tucked around so it does  
 21 not overpower the existing structure.  
 22 MR. LOPERA: Okay. Thank you.  
 23 MR. STONE: My pleasure. Any other  
 24 questions? Thank you very much.  
 25 A VOICE: May I request an equal amount of

1 Additions are allowed. They are allowed  
 2 to increase the living space of your home.  
 3 They are allowed to increase the value of  
 4 your home. You are allowed to make  
 5 additions and alterations.  
 6 The historic guidelines also allow you to  
 7 increase the size of your home to add bedrooms,  
 8 to add master bedrooms, to add bathrooms, to  
 9 add kitchens. The guidelines allow all that to  
 10 happen.  
 11 The historic guidelines also allow you to  
 12 renovate your garage, to restore your garage,  
 13 to repair any garage damage, to renovate  
 14 structures that have been around that need  
 15 repair. All of those items are all allowed  
 16 within the historic guidelines.  
 17 In my opinion a one-story addition with a  
 18 tower -- with an appropriately scaled size  
 19 tower would fall within the guidelines and  
 20 would -- it would be acceptable. I will  
 21 definitely appreciate all of the support,  
 22 concede Ms. Harris' commitment to the community  
 23 for what I'm hearing for previous projects have  
 24 been done with impeccable detail and  
 25 craftsmanship.

1 time?  
 2 MS. FETNER: I'm sorry. There is no  
 3 rebuttal from you. They have their rebuttal  
 4 and that is it. I'm sorry.  
 5 THE CHAIRWOMAN: So we are going to close  
 6 the public hearing. Could I have a motion just  
 7 to get this on the table so we can discuss it?  
 8 MR. KASPER: Motion to deny. Make a  
 9 motion to deny --  
 10 MR. LOPERA: COA 17-797. I second.  
 11 THE CHAIRWOMAN: With a motion and a  
 12 second, we will have some discussion now.  
 13 MR. KASPER: I will open the discussion.  
 14 THE CHAIRWOMAN: Okay.  
 15 MR. KASPER: I think we can't change the  
 16 original structure. We can't change it's  
 17 original size. We can't change its scale, its  
 18 proportions, its massing, its height. We can't  
 19 change the fact that the predominant height is  
 20 10 foot 4 inches. We can't change the fact  
 21 that there is a small minor tower element that  
 22 does reach higher, so we can't change where the  
 23 building is placed or we can't change its size.  
 24 Under the historic guidelines, there  
 25 are opportunities for additions.

1 She has increased other properties in the  
 2 community. She has intentions to do an  
 3 excellent job. She has intentions to preserve  
 4 the community, to preserve the building she is  
 5 in and to do a great addition.  
 6 I will concede and appreciate that the  
 7 builder will do his best craftsmanship and he  
 8 has done other great historic facilities. And  
 9 he has intentions to do a great historic  
 10 addition here. I will also concede that the  
 11 architect is qualified and knows what he is  
 12 doing and intending to design a great home for  
 13 the Harrises and plans on doing the best he  
 14 can.  
 15 I appreciate the support of all the  
 16 neighbors who have taken the time to come out  
 17 here this evening and express your support. It  
 18 warms my heart to hear the community rally in  
 19 around a family that is, you know, supportive  
 20 of community and they are coming out. I did  
 21 take notes and most of the support was just  
 22 supporting of them in general, of what they've  
 23 done, of what their intentions are, of how they  
 24 have contributed to the community. And all  
 25 that is admirable, and we wish more communities



1 would be that way. We thank you for their  
2 support.

3 Now as a commissioner, we don't get the  
4 opportunity to vote because we like it, because  
5 we think it looks good or we think the  
6 neighborhood necessarily supports it. I think  
7 we have to vote which in is accordance with the  
8 design guidelines. I think at the time the  
9 guidelines were set, they were established for  
10 a reason. I think folks who purchased homes  
11 and live in the area understand the guidelines  
12 and appreciate they are there to support the  
13 neighborhood.

14 So it is our position to interpret the  
15 guidelines and vote accordingly. Therefore, it  
16 is my opinion that this design is not  
17 compatible with the original in it's additional  
18 size and scale. I don't believe that it is  
19 subordinate to the original. As I mentioned in  
20 my previous comment, I think the perspectives  
21 are accurate from the street view and standing  
22 at the fence, but I would challenge that if you  
23 would see it from another gentleman that cooks  
24 dinner across the street that it would be  
25 noticeable.

1 So that's it.

2 THE CHAIRWOMAN: Thank you. Are  
3 there any additional comments?

4 MR. LOPERA: Yes, I do want to thank the  
5 people that came out in support and against  
6 this project. It definitely means a lot to us  
7 that you are involved in your community, that  
8 you care about your community. You care about  
9 your property values and that you also care  
10 about to come out and support a neighbor.

11 And I also wanted to thank the  
12 architect for many questions last time and  
13 many questions this time around. It's  
14 very trying on your patience, I'm sure, to  
15 kind of continue coming back up here from  
16 Orlando.

17 And in saying that, in looking at the  
18 perspectives, especially the right elevations.  
19 We do have to take into account things like  
20 subordinate. That's very important. That is a  
21 secretary standard. And it could be -- it  
22 could take on a lot of forms. It could just be  
23 square footage. It could be the height. It  
24 also could be just the perspective of looking  
25 at that on the board.

1 I am not -- I don't agree that the left  
2 portion of this building, the new addition, is  
3 smaller than the one I am seeing on the right.  
4 On the left, I am seeing a certain length. I'm  
5 seeing a certain height. I'm seeing a  
6 complete, you know, two stories. Then on the  
7 right I am seeing basically a tower which is  
8 partially open on the bottom which is a  
9 one-story roof structure. And, you know, we  
10 have to take those things into account.

11 So it's not about like just flat square  
12 footage alone but it's also about perspective.  
13 And it's also about opening up this building  
14 and approving this that now, you know, the next  
15 neighbor is going to want to do something  
16 similar, but now there is only two neighbors  
17 behind it. Right now you have no neighbors,  
18 but somebody else might want to do two stories.  
19 Also I was from the two I wanted to build a  
20 two-story and it never became a situation  
21 before the commission, but I was in a situation  
22 but then it becomes a challenge how many  
23 neighbors in the back. How many do we say can  
24 or can't see the property? That is why we are  
25 approving something or not approving something.

1 So in saying that also, as far as the  
2 one-story coquina garage, I haven't seen any  
3 structural reports basing it is in falling  
4 apart condition. So it is based -- that is  
5 based just based on, I guess, opinions at this  
6 point without a qualified structural opinion  
7 from a qualified structural engineer, they  
8 would make a proper opinion based on its --  
9 based on how, you know, sound the structure is  
10 and calculations or analysis and draw  
11 distributions based on the evidence.

12 At this point we haven't seen any of that  
13 for that rear structure. So, you know, I agree  
14 with Erik as far as the massing goes. It's  
15 hard to differentiate where the new one goes  
16 and the old one begins because I heard it  
17 mentioned a couple of times that there was new  
18 master bedroom. Even though there is one there  
19 shown on the as-built first floor plan perhaps  
20 that I may have misunderstood something.

21 And I also heard the architect they are  
22 not removing any portion of the existing  
23 property, but I'm failing to see where the  
24 sunroom is going also on the as-built first  
25 floor plans. Is seems like the sun roof is

1 being removed and replaced with a much bigger  
 2 family room covered porch area, I believe.  
 3 So also another big thing that I noticed  
 4 is if you take a look at the proposed first  
 5 floor plan, the dimensions on the top of that  
 6 which is back of the property is 60-foot  
 7 8-inches. The complete width of the existing  
 8 property is 56-feet 8-inches, a difference of  
 9 two feet with addition. It is hard for me to  
 10 see that how that could be subordinate when the  
 11 new addition is 10 feet wider than the entire  
 12 existing first floor house at this point.  
 13 I think from a mathematical standpoint 10  
 14 feet is what 10 feet counts as a 20 percent  
 15 addition as far as the total left to right  
 16 dimension. So based on the Secretary  
 17 standards, I think I would be doing the  
 18 commission a disservice for me to approve it  
 19 the way it is drawn.  
 20 I know -- I believe there is some perhaps  
 21 one-story additions that could, you know,  
 22 perhaps add value but also not, you know,  
 23 overtake the existing structure.  
 24 THE CHAIRWOMAN: Thank you-all.  
 25 Just really comment again, I

1 appreciate all of your being here and  
 2 especially all of the support. We are  
 3 charged -- if we are to go over the  
 4 recommendations of staff and all of the  
 5 work that they have done to put into this,  
 6 we are charged with being able to document  
 7 substantial, factual evidence as to why --  
 8 you know, why this is not -- you know, why  
 9 the Secretary of Interior standards are  
 10 not being observed in this situation. And  
 11 so I think that's actually what was  
 12 missing.  
 13 So I'm trying to -- I know you all have  
 14 worked -- are working and have worked really  
 15 hard on this to get something approved, and I  
 16 am wondering what are the options with the  
 17 applicant if because I don't know how we are  
 18 going to vote but there is always the option to  
 19 defer again and try to reach a, some type of  
 20 consensus.  
 21 I think, you know, I think you heard about  
 22 one-story addition or the possibility of, I  
 23 mean, changes the whole plan. But I mean, you  
 24 know, I just --  
 25 MS. HARRIS: No deferral. Nope.

1 THE CHAIRWOMAN: Let's continue with  
 2 discussion, if anybody has any other comments.  
 3 MR. DEMETREE: I really don't -- this is  
 4 tough because I really like -- I love the  
 5 design. I think Erik and Andres made very  
 6 strong points as to why as a commission it  
 7 would be difficult to approve this.  
 8 You know, and I want to pile on and  
 9 say I appreciate everybody coming out to  
 10 support. That is great. It is probably  
 11 meaningless at this point, but, yeah, it  
 12 is hard to find a talking point to really  
 13 drive home points against design  
 14 regulations that we are held to.  
 15 And I know we have talked about, there are  
 16 guidelines, but this is against those  
 17 guidelines, and -- yeah, as far as the  
 18 renovation, as far as an addition goes to this  
 19 house, to me a one-story makes a good deal more  
 20 sense, like Erik says, with a matching tower  
 21 because it fits the house.  
 22 And that is all.  
 23 MR. DAVIS: I have been sitting  
 24 here just kind of chewing on it and  
 25 going through all of the Secretary of

1 the Interior guidelines relating to  
 2 additions. And you know, honestly I am  
 3 sitting here trying to talk myself into  
 4 it because -- because of what everybody  
 5 said and which is wonderful to hear  
 6 about Ginger and Karma and about the  
 7 concern you guys have for the community  
 8 and work you have done for the  
 9 neighborhood. I shouldn't take that  
 10 into account but it's impossible not to  
 11 kind of be swayed by the weight of that.  
 12 So just sitting here reading through  
 13 the guidelines, you guys knocked it out of  
 14 the park on most of them. The compatible  
 15 in materials and texture of the existing  
 16 building, keeping it to the rear, minimal  
 17 attachment to the building, protecting the  
 18 architectural details and futures that  
 19 contribute to the character of the  
 20 building. During the course of  
 21 constructing the addition, I am sure the  
 22 contractor would initiate it all.  
 23 You know, even -- it specifically says  
 24 under the guidelines things to avoid: Adding  
 25 height to a building changes its scale and

1 character. Changes in height should not be  
2 visible when viewing historical facades. Like,  
3 you know, through some not too difficult to  
4 achieve kind of mental gymnastics, like you  
5 could say that you complied with those. You're  
6 within 8 inches on the height of the tower.  
7 You know, you did some great renderings of the  
8 front elevation and kind of demonstrated the  
9 minimal impact on the street view.

10 There's one line though that says, "The  
11 size and scale of the new addition should be in  
12 proportion to the historic portion of the  
13 building and clearly subordinated to it." So  
14 if you take the fluff of that it says, The size  
15 of the new addition should clearly subordinate  
16 to the historic portion.

17 So I would just ask you guys, you are  
18 adding 100 square feet less than the existing  
19 size of the building. So how would you explain  
20 that? You know, how -- what would the argument  
21 be to say that doubling the size of the  
22 building clearly subordinates to the historic  
23 portion of the building?

24 That's a real question. Like I said, I  
25 would love to say yes. Just square foot.

1 (Ms. Ginger Harris approached the podium.)

2 THE CHAIRWOMAN: Well --

3 MS. BLAKE: Ma'am, if you would kindly go  
4 to the microphone.

5 MS. HARRIS: To answer that is, yes, it's  
6 100 or 200, whatever the exact amount would be,  
7 square foot less, but I could challenge and say  
8 why did they make the house so small that we  
9 can barely live in it?

10 When you talk about the scale, you  
11 are also talking about other neighbors. I  
12 have got -- if -- I looked up each  
13 neighbor on each corner. I'm on a double  
14 lot. And my property -- when you are  
15 standing there just right now, it looks  
16 like a great big house and people are  
17 shocked and see the size of the square  
18 foot of the house.

19 I have gone to the back of the house.  
20 That doesn't take away. We are 35 feet back.  
21 You will not see that 8 inches. We could meet  
22 the 8 inches, but if we met the 8 inches, you  
23 know what we would have to do? We'd flatten  
24 the top of the roof right there in the center.

25 Would that make it architecturally

1 aesthetic to you-all? Because I think that  
2 would look not very well. My architect  
3 suggested that I and I said, no, it wouldn't go  
4 with the scale of the other roofs. If you are  
5 standing back on Riverside Avenue to look at  
6 our roofs, for a roof, they're pretty darn  
7 cool. They are okay looking. They are all  
8 different elevations, and that is what we have  
9 kept with.

10 If you are focused on the square footage  
11 of the house, I think that's unfair to us as a  
12 taxpayer and a person that has owned that house  
13 and many other houses. Every corner house is  
14 more square foot. I have got three -- I can  
15 hand to you right now: 7800 square foot, 5300  
16 square foot, 5200 square foot. We are going to  
17 be at 48 gross or 49.

18 But you are not seeing that from the  
19 front. You will see what you always saw. The  
20 only thing you will see is a couple of rooftops  
21 from Riverside Avenue, not Edgewood, not coming  
22 up to the side. I have got a 30 -- no, that  
23 building next to me is a condo. As the guy  
24 said, I will look down at your renovation.  
25 That's right. He will whether he's on the

1 first floor, or whether he's on the second  
2 floor.

3 The guy behind me, his -- whoever approved  
4 that, whether that was nine years ago or eight  
5 years, his building -- his garage that takes up  
6 half of my backyard, that's all I'll still see.  
7 He's never -- he walked over because a neighbor  
8 told him I'm all going to be in his backyard.

9 He goes, You can't see anything but my  
10 garage. I said, I know. You will never see my  
11 backyard because I have bamboo and landscaping  
12 to give us our privacy that we need.

13 But the square footage you-all are talking  
14 about is something that a homeowner should be,  
15 and you are talking about -- I don't know all  
16 the rules and regulations of, you know, the  
17 interior design, but I know we met zoning. It  
18 didn't take up the land lot that we, you know,  
19 built too big.

20 So when you talk about regulations, it's a  
21 regulation. That's your opinion of what you  
22 trying to fault. How in the heck did we get  
23 RAP to approve? I thought you all worked  
24 together as boards. How does one board agree  
25 and the other doesn't?

1 How does a homeowner not have rights to  
2 build the size house they want if they are  
3 following guidelines? And we follow  
4 guidelines. As you, Ryan Davis pointed out, we  
5 followed almost every one of them except the  
6 guideline of the opinion that I am building too  
7 much of a square foot.

8 One of my questions to Ms. Mullins over  
9 here was if I took the 8 inches out because  
10 that seems to be one of the biggest focuses --  
11 if I take the 8 inches out and we sacrifice  
12 wherever, we flatten it or do something, would  
13 you approve it then?

14 And ask her what she told me. She  
15 couldn't really answer because it's the size of  
16 the square footage. And I'm not sure that it's  
17 right that you get to make the opinion that we  
18 are not allowed to have 2100 if it falls within  
19 other guidelines.

20 And every frigging neighbor around us has  
21 bigger houses than ours -- I mean, not every  
22 neighbor. I'm sorry. I'm excited and  
23 frustrated, both.

24 A VOICE: Only thing.

25 MS. HARRIS: But I brought some if you

1 could use a two-story his self, but that's  
2 another story.

3 MR. GALLAGHER: I would never do that.

4 MS. HARRIS: You won't be. You're moving.

5 MS. FETNER: No arguing.

6 MR. LOPERA: Thank you, Ms. Harris.

7 From my perspective, I think it would  
8 be slightly different because I don't

9 believe it's a true two-story building. I

10 know it is listed as that, but the

11 two-story is made up by a tower and on the

12 smaller tower in the front, it's only a,

13 you know, 50 square foot room with a

14 7-foot ceiling.

15 MS. HARRIS: Yeah.

16 MR. LOPERA: I would look at this

17 differently if there was a full two-story over

18 the master. The current master as shown on the

19 as-built first floor plan and kitchen and

20 dining room, and you are adding onto the back

21 of an already existing two story -- full

22 two-story structure there, I would I think I

23 would have looked at it a bit differently.

24 But when the only -- basically what

25 you are seeing are two-story portions of

1 want those papers so you can look. I printed  
2 them off the property appraiser's tax roll to  
3 say, hey, and they got it approved.

4 And it's in the back. This is not  
5 something visibly you are seeing.

6 MR. DAVIS: I appreciate it. I try  
7 to understand your passion and I can't  
8 because I don't live there.

9 MS. HARRIS: Nor stood in the yard. That  
10 makes a big difference. I can't believe  
11 you-all can't on a situation like this walk the  
12 property and see what we live in.

13 MR. DAVIS: The square --

14 MS. FETNER: Through the chair, they are  
15 allowed to go inspect the property if the  
16 commission wanted to do that. We recommend you  
17 don't, but you are allowed to go.

18 MS. HARRIS: It would be interesting when  
19 you see what's in my backyard or even my  
20 neighbor over here that is concerned with  
21 the side, his house is still from our addition  
22 the way from -- far away from his house would  
23 be probably past 35 feet back. I'm not in his  
24 backyard. All he has is the same neighbor I  
25 have is that huge garage and his garage that he

1 the building were actually made up by  
2 towers and they are only shown as closets  
3 on here, it kind of changes my perspective  
4 a little bit as far as that two-story  
5 goes. And adding the two-story addition  
6 that you are proposing based on what's  
7 mostly a one-story structure.

8 And another thing slightly different about  
9 this one, that you own a lot of houses. Are  
10 there any ones that look like this in the  
11 entire neighborhood?

12 MS. HARRIS: No, there's not.

13 MR. LOPERA: That's like -- I think that  
14 is my point. It is a unique property. And  
15 when you are, you know, kind of combining and  
16 adding onto this unique property, that sort of  
17 changes things a little bit.

18 MS. HARRIS: So unique properties are not  
19 allowed to have structures in the back of their  
20 yards?

21 MR. LOPERA: They can. As we mentioned  
22 before, there are one-story additions that get  
23 added on a regular basis. As a matter of fact  
24 you have a lot of lot space to add a one-story  
25 addition to it -- to what I am seeing as

1 basically a one-story house.  
 2 And, you know, as far as adding  
 3 square footage, that would meet the  
 4 guidelines of, you know, the Secretary of  
 5 state guidelines of something that would  
 6 be subordinate but also increase your  
 7 property value and contrary to what Mr.  
 8 Gallagher it would increase his property  
 9 value as well. But it would more closely  
 10 follow the Secretary of State guidelines  
 11 which we are provided an opinion on.

12 THE CHAIRWOMAN: Secretary of  
 13 Interior.

14 MR. LOPERA: Secretary of Interior.

15 THE CHAIRWOMAN: Anything else?

16 Just -- I mean, it is an amazing  
 17 property and I'm sure whatever happens,  
 18 it's going to be amazing. It's the oldest  
 19 house in Avondale; is that correct?

20 MS. HARRIS: Yes.

21 THE CHAIRWOMAN: And it was landmarked in  
 22 advance of the formation of the Riverside  
 23 Avondale Historic District; isn't that right?

24 MS. HARRIS: Yes.

25 THE CHAIRWOMAN: So it's a wonderful,

1 significance. You have fantastic neighbors and  
 2 friends. We really wish you the absolute best  
 3 in whatever plans that you all.

4 MR. FOSTER: Can I ask a silly question?  
 5 What if you say one of these hurricanes had  
 6 wiped her house out --

7 THE COURT REPORTER: Wait a minute.

8 THE CHAIRWOMAN: You have to wait. We are  
 9 still talking.

10 MR. FOSTER: I know but I'm just throwing  
 11 it out there.

12 MS. FETNER: Sir.

13 MR. FOSTER: A hurricane had destroyed  
 14 their house --

15 THE CHAIRWOMAN: No, we can't.

16 Thank you, Ms. Harris. We are going  
 17 to close the public hearing again.

18 Does anyone want to take a vote? Can we  
 19 make a recommendation?

20 MR. LOPERA: I believe we have.

21 MR. DEMETREE: As much as I would like to  
 22 approve it, I just can't get around the second  
 23 floor visually. It is not subordinate. It is  
 24 not. We can twist it however we want because  
 25 it's something I would like to support.

1 And I'm doing my best, like Ryan  
 2 said, to find some reason to make it work.

3 MR. STONE: Let me ask a  
 4 question --

5 MS. FETNER: The public hearing is closed.  
 6 I'm sorry.

7 MR. STONE: I understand.

8 MS. FETNER: If I let you up, then I have  
 9 to let everyone up.

10 THE CHAIRWOMAN: You can call the  
 11 question. If anyone would like to call the  
 12 question you can. That means we take a vote on  
 13 it or keep discussing it either. Take a vote.

14 MR. KASPER: Maybe a little discussion or  
 15 just a comment about the square footage. I  
 16 don't think the square footage of surrounding  
 17 houses is relevant because as I mentioned we  
 18 are starting with the size of this house. And  
 19 if it was 10 by 10 -- if it was a one-room 200  
 20 square foot house, I mean, that is what we  
 21 would be starting with and we would go from  
 22 there.

23 So unfortunately it is the original  
 24 house in Riverside and it's small. And,  
 25 therefore, its addition will need to be

1 appropriate. And the fact that there's  
 2 much larger houses next to it nearby are  
 3 irrelevant.

4 THE CHAIRWOMAN: I have an idea.  
 5 If the lot size is large enough to  
 6 warrant a separate building application,  
 7 that would be connected by like a  
 8 portico shade or a breezeway or, you  
 9 know, then you are -- then to your point  
 10 about to Guggenheim is what the museum  
 11 was -- then maybe there's an angle that  
 12 can be --

13 MR. STONE: That's why -- I can't speak.

14 MS. FETNER: Fine. If they are asking you  
 15 a question, you can speak. You can come up.

16 MR. STONE: Okay.

17 MS. FETNER: If you just had an opinion  
 18 you wanted to share, that's different.

19 MR. STONE: I'll ask the question as with  
 20 regards to your question. So you're saying  
 21 that if we did a separate structure that's only  
 22 connected by a breezeway, it would be a  
 23 different story in the same way that the  
 24 Guggenheim is.

25 That's why we have made to where it

1 is only connected in a very small amount  
2 in that one room. It only connects to the  
3 house in an 8-foot spot where we are  
4 taking out an added on porch. That's why  
5 you don't see the porch on the new portion  
6 is because that porch was removed because  
7 it was not original to the house.

8 My sort of question with regards to your  
9 question, Mr. Davis is -- or Commissioner  
10 Davis, sorry -- is you are talking about square  
11 footages at the moment. And if we're talking  
12 about 2100 square feet, am I hearing from this  
13 board that you would actually allow a 2100  
14 square foot single-story addition on this  
15 property?

16 Because that's where I get confused about  
17 subordination. I have made a 1100 square foot  
18 footprint to make it not overtake the existing  
19 home.

20 MR. DAVIS: If I can, I hear where  
21 you are going, and I think we will get  
22 down a rabbit hole real fast because at  
23 that point --

24 MR. STONE: Right.

25 MR. DAVIS: -- it's attached with a

1 breezeway. Now it's not an addition; now it's  
2 an accessory structure which has a whole  
3 different set of rules and zoning gets into it.

4 So I don't think we can take that  
5 argument and say we will be okay with a  
6 breezeway --

7 MR. STONE: Right.

8 MR. DAVIS: -- then see here's what we did  
9 where we just attached the small portion, which  
10 is what the regulations regarding additions --

11 MR. STONE: -- state, right.

12 MR. DAVIS: And you did a great job with.

13 But then once we're back in the world  
14 of additions, now we have the size and  
15 scale requirements. So it doesn't  
16 really -- it kind of brings us back to the  
17 same point.

18 MR. KASPER: Mr. Stone, when you  
19 say connecting a small portion, I see  
20 family room and covered porch being  
21 connected which appears to be about 24  
22 feet.

23 MR. STONE: I think it is smaller. I  
24 don't know what exactly the actual added on  
25 portion of it, but I think you are correct.

1 It's somewhere around there. You have got the  
2 plans sitting directly in front of you.

3 MR. KASPER: I think massing-wise, I think  
4 if we were to build a monotone volume mass  
5 each of these two structures and put them on a  
6 table and ask anybody which one is larger, I  
7 think it would be quite simple that someone  
8 would identify the addition if not larger very  
9 much the same.

10 MR. STONE: Again that's an opinion and  
11 that's the issue that you guys have to deal  
12 with. It is -- that line item you are  
13 currently reading over and over and over again  
14 is an opinion. So it's quantifiable.

15 I can have a different opinion than  
16 you do. They can have a different opinion  
17 than you do. The reality is we will do  
18 what we have to.

19 Subordinate is an interesting word. That  
20 is all I will say.

21 MR. DAVIS: To some degree, I agree  
22 with you. I don't think it's fair to  
23 say this is a 50/50 -- 10 out of 10  
24 people, you are going to have opinions  
25 (inaudible) are one way and split the

1 other.

2 And I think that given that it's the  
3 oldest building or the oldest home in  
4 Avondale and it's a landmark building, I  
5 think that we -- me opinion is that we  
6 have to err on the side of protecting the  
7 existing structure. I think it is.

8 And I hate saying that -- I honestly hate  
9 saying that because, you know, all the work you  
10 have put into this and everything that  
11 everybody has said before. But I think -- I  
12 think for myself, I think that is the decision  
13 that myself and my conscience are comfortable  
14 with.

15 THE CHAIRWOMAN: Thank you.

16 So we have a motion and a second.  
17 Are there modifications to the motion  
18 or -- okay. Well, let's restate the  
19 motion. The motion on the table is to  
20 deny COA-17-797.

21 All those in favor?

22 COMMISSION MEMBERS: Aye.

23 THE CHAIRWOMAN: Opposed.

24 (No response.)

25 THE CHAIRWOMAN: Hearing none, you

1 have denied COA-17-797.  
 2 (Brief pause.)  
 3 THE CHAIRWOMAN: This calls here  
 4 for a first and second before we  
 5 continue with Section G, Certificates of  
 6 Appropriateness.  
 7 MR. GALLAGHER: Did everybody vote to  
 8 deny? I heard everybody but the Chair. You  
 9 did vote to deny?  
 10 THE CHAIRWOMAN: Yes.  
 11 COA-17-972, 1434 Ionia Street staff  
 12 report.  
 13 MS. MULLINS: So the application is  
 14 TerraWise. You guys -- actually you  
 15 don't see a lot of TerraWise because  
 16 most of them are consents. The designs  
 17 are usually within compatible neighbor  
 18 with new neighbors in the immediate area  
 19 and the applicant, TerraWise, always  
 20 worked with us to make sure that the --  
 21 our conditions are met. So usually they  
 22 are always on consent, probably three a  
 23 month or more for the last year.  
 24 So this particular design you did see  
 25 already -- it is slightly different --

1 back in July, and you guys approved a  
 2 version of it. We just stuck with our  
 3 original conditions from that original  
 4 design to be consistent. So just a brief  
 5 discussion.  
 6 This is off Ionia Street in between Third  
 7 and Fourth. Here originally had a two-story  
 8 structure of the lot. Now it is vacant. It is  
 9 going to be attached garage by a breezeway.  
 10 Here's the front elevation. There's the right.  
 11 You have got these all in your book. It's  
 12 probably easier for you to see them in your  
 13 book than on this screen.  
 14 Essentially I'm just going to read the  
 15 conditions that we have added that are --  
 16 there's a list of additional summary that shows  
 17 the conditions, all of them. Basically 7  
 18 through 12 are the standard kind of conditions  
 19 that we have for new construction, recessed  
 20 within the wall plane and windows, you know, a  
 21 pair shall be divided by a traditional mullion.  
 22 But 1 through 6 are the ones to this  
 23 particular design. So No. 1, the first window  
 24 on first story of the right elevation shall be  
 25 full sized. It does appear that there is a

1 full-sized window here. If you see on the  
 2 right elevation on the first floor, it's really  
 3 a skinny window. It's not real a full-size  
 4 window. If you look at the garage down towards  
 5 the rear, that is a full-sized window.  
 6 That is where we are going with that  
 7 condition because it is the first front 50  
 8 percent of the building that will be visible  
 9 from the street. We would like to have the  
 10 larger normal size vertically oriented windows  
 11 that are more historically appropriate for the  
 12 area. That is why that condition is there  
 13 instead of that skinny maybe it's probably a  
 14 3-0-4 or a 4-0-3 versus a 3-0-5-0. You would  
 15 rather have 3-0-5-0 or 3-0-6-0, if possible.  
 16 On the right side elevation, a decorative  
 17 window shall be installed to break the  
 18 extensive wall space and provide illumination  
 19 for the interior stairs. If you see that  
 20 skinny window, you are talking about there's a  
 21 lot of space until the next window. Typically  
 22 our kind of guidelines 8 to 10 feet like a  
 23 window because that is how historically it was  
 24 in the neighborhood. You know, typically, they  
 25 needed a lot of light in these houses and so

1 just to make it compatible with the neighbors,  
 2 we conditioned that.  
 3 We said a decorative window just because  
 4 we figured it's s stairwell. They can kind of  
 5 figure something out there, but we are open to  
 6 any kind of window in that area.  
 7 Number 3, the majority of the small square  
 8 windows on the second story of the right  
 9 elevation shall be more vertically oriented.  
 10 That bank of five little squares is pretty not  
 11 traditional in the neighborhood. We don't  
 12 really ever see that so that's why we  
 13 conditioned it. At least the majority of them  
 14 being vertically oriented.  
 15 They do understand that this is new  
 16 construction. You do need to have some kind of  
 17 bed wall, and that is why we do allow some of  
 18 the smaller windows here and there, but not the  
 19 majority of them. So that is why we wanted the  
 20 majority of those vertically oriented.  
 21 Number 4, at least two windows shall be  
 22 placed along the extensive wall space located  
 23 under the side porch of the right elevation.  
 24 If you look there is a separate side  
 25 porch, after the third window on the right

# Application for Certificate of Appropriateness

COA - 17-797	
Date Received:	8/1/17
Planner Initials:	JMK
Date Found Complete:	
<input type="checkbox"/> Violation/Citation #:	
<input type="checkbox"/> Plan Review/COA Inspection Required	

For more information regarding this form call: (904) 255-7859. Submit signed, completed form in person, by email (historicpreservation@coj.net), U.S. mail (see address below), or by faxing it to: (904) 255-7885.

PROPERTY INFORMATION			
Property Designation	<input checked="" type="checkbox"/> Riverside/Avondale Historic District	<input type="checkbox"/> St. Johns Quarter Historic District	<input type="checkbox"/> Springfield Historic District <input type="checkbox"/> Local Landmark
Property Address	1776 Challen Ave		Zip Code 32205
Real Estate #	078590-0000		
Type of Improvement	Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible (Example: reroof; replacing grey 3-tab shingles with black architectural shingles). Submit all required supplemental information/documentation (See Required Attachments) with application.		
Demolition of existing garage structure. Replace garage with new 1 1/2 car garage and new master bedroom and bath above; new family room and guest bedroom on 1st level.			

APPLICANT INFORMATION (Please Print Name)			
Applicant is (check one and must sign below): <input type="checkbox"/> owner <input checked="" type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> other agent			
★ Building Owner's Name: Virginia Harris		Architect's Name: Phil Kean	
Address: 1776 Challen Ave		Address: 912 W. Fairbanks Ave	
City, State & Zip: Jacksonville, FL 32205		City, State & Zip: Winter Park FL 32789	
Phone: 904-349-3221 Fax:		Phone: 407-599-3922 Fax:	
Email: gingerpdco@gmail.com		Email: david@philkeandesigns.com	
Agent represents <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other			
Contractor's Name: Browdy & Browdy Inc		Agent's Name: David Rinzler/Browdy+Browdy	
Address: 6944 St. Augustine Road # D		Address: 6944 St. Augustine Rd # D	
City, State & Zip: Jacksonville FL 32217		City, State & Zip: Jacksonville FL 32217	
Phone: 904-739-5195 Fax:		Phone: 904-509-4483 Fax:	
Email: drinz@mac.com		Email: drinz@mac.com	

I HEREBY CERTIFY that I understand this application will not be processed until all the requested information has been supplied and is not considered complete until staff determines it is complete. I also understand this application may require a site visit, completeness review meeting, additional research, staff discussion and a PUBLIC HEARING by the JACKSONVILLE HISTORIC PRESERVATION COMMISSION (JHPC) which may affect the processing time.

Print name and Signature(s) of Owner(s) \_\_\_\_\_ Date \_\_\_\_\_

David Rinzler *David Rinzler* 8/1/17  
 Print name and Signature of Agent/Arch/Cont \_\_\_\_\_ Date \_\_\_\_\_

★ Owner's Information and Signature Always Required





BEFORE THE HISTORIC PRESERVATION COMMISSION  
OF THE CITY OF JACKSONVILLE

CERTIFICATE OF APPROPRIATENESS APPLICATION NO.: **COA-17-797**

IN RE: The Certificate of Appropriateness Application of

**Virginia Harris**  
**1776 Challen Avenue**  
**Jacksonville, FL 32205**

**ORDER ON COA-17-797 DENIED**

This matter came to be heard upon the Certificate of Appropriateness (COA) Application filed by **Virginia Harris**, the owner of certain real property located at **1776 Challen Avenue, RE #078590-0000**, seeking approval for a rear addition and reconstruction of the garage.

Having duly considered both the testimonial and documentary evidence presented at the public hearing on **November 15, 2017**, including the Report of the Planning and Development Department and all attachments thereto ("Staff Report"), a portion of which is attached hereto as **Exhibit "A,"** and on file in its entirety in the Planning and Development Department, the Historic Preservation Commission of the City of Jacksonville hereby adopts and incorporates herein the recommendations of the Staff Report to the extent consistent with the Order, and

**FINDS AND DETERMINES:**

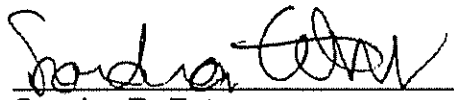
1. That the applicant did **not** comply with all application requirements set forth in Section 307.106 of the Jacksonville Ordinance Code;
2. That substantial competent evidence demonstrates that application **COA-17-797** does **not** meet the standards and criteria set forth in Section 307.106 of the Jacksonville Ordinance Code;
3. The Commission adopts the Report of the Planning and Development Department for **COA-17-797**; and
4. That the land which is the subject of this application **COA-17-797** is owned by **Virginia Harris**.

**NOW THEREFORE**, it is **ORDERED** by the Historic Preservation Commission:

1. Application **COA-17-797** is hereby **DENIED**.

Executed this 28th day of November, 2017.

## FORM APPROVED

  
 Sondra R. Fetner  
 Office of General Counsel

  
 Chairman,  
 Historic Preservation Commission

## Copies to:

**Owner:** Virginia Harris  
 1776 Challen Avenue  
 Jacksonville, FL 32205

**Agent:** David Rinzler  
 6944 St. Augustine Road, #D  
 Jacksonville, FL 32217

**DISCLAIMER.** The certificate of appropriateness granted herein shall not be construed as an exemption from any other applicable local, state, or federal laws, regulations, requirements, permits or approvals. All other applicable local, state or federal permits or approvals shall be obtained before commencement of the development or use and issuance of this certificate of appropriateness is based upon acknowledgement, representation and confirmation made by the applicant(s), owner(s), developer(s) and/or any authorized agent(s) or designee(s) that the subject business, development and/or use will be operated in strict compliance with all laws. Issuance of this certificate of appropriateness does not approve, promote or condone any practice or act that is prohibited or restricted by any federal, state or local laws.

**TIMEFRAMES AND NOTICE OF RIGHT TO APPEAL**

Persons listed in Section 307.202, Ord. Code, may appeal this decision to the City Council within twenty-one (21) days of the date of this Order by filing a Notice of Appeal with the Legislative Services Division of the Council as required by section 307.203, Ord. Code. Failure to file a Notice with the Legislative Services Division within the time prescribed waives the right to appeal this Order. Therefore, this Order does not become final until the expiration of the twenty-one (21) day appeal period provided in Chapter 307, Jacksonville Ordinance Code. Any work commenced during this appeal period is done at the risk of the applicant.

**Exhibit "A"**

August 23, 2017

**THE REPORT OF THE PLANNING AND DEVELOPMENT DEPARTMENT  
CERTIFICATE OF APPROPRIATENESS APPLICATION COA-17-797**

<b>Address:</b>	1776 Challen Avenue	<b>Year Built:</b>	c. 1909
<b>Location:</b>	South corner of Challen Avenue and Riverside Avenue	<b>Designation:</b>	Riverside-Avondale
		<b>Status:</b>	Contributing/Local Landmark
<b>Owner:</b>	Virginia Harris 1776 Challen Ave Jacksonville, FL 32205	<b>Applicant:</b>	David Rinzler 6944 St. Augustine Rd. #D Jacksonville, FL 32217

**REQUEST / RECOMMENDATION**

**Request:** Rear Addition and Reconstruction of Garage  
**Recommendation:** Deny

It is the position of the Planning and Development Department that the proposed work under the stated conditions would not be consistent with all or in part with:

1. *The Historic Preservation Design Regulations for the Riverside-Avondale Historic District's* section on "Additions"
2. *The Secretary of the Interior's Standards for Rehabilitation* number: 9
3. Chapter 307.106(k) General Standards: 1, 2, 3 and 4
4. Chapter 307.106(l) Guidelines on Alterations: 2

**GENERAL INFORMATION**

Chapter 307.106(k), *City of Jacksonville Ordinance Code* states that in considering applications for a Certificate of Appropriateness for alterations, new construction, demolition, or relocation, the Commission shall be guided by four general standards. Chapter 307.106(l), *City of Jacksonville Ordinance Code* states that in considering applications for Certificates of Appropriateness for alterations, the Jacksonville Historic Preservation Commission shall consider eight additional standards that reflect the same concerns as the *Secretary of the Interior Standards for Rehabilitation*. In an effort to streamline the staff findings and recommendation, these additional standards are addressed under #2 and #3.

**GUIDELINES, STANDARDS AND FINDINGS**

1. *The effect of the proposed work on the landmark, landmark site or property within a historic district upon which such work is to be done;*

**DESCRIPTION OF WORK**

The applicant is requesting approval to construct a two-story addition off the rear of the house, reconstruct the original garage and relocate it closer to Riverside Avenue, and attach the garage to the new addition. The new two-story addition will be located behind the Mission Style parapet wall

on the front of the house. It will attach at the left rear corner of the house and extend towards the rear property line, running the length of the lot towards Riverside Ave where it attaches to the newly reconstructed garage even with the main house along Riverside Ave. The addition will leave a square area in the center of the lot to create a private courtyard area. The proposed new square footage will be 4903 under roof where currently it is approximately 2572 square feet not including the detached garage with the addition. The plans indicate the use of CMU blocks on the majority of the addition. They will have a split face block used on the corner quoins along the Riverside Ave elevation to match the historic design. From the front façade, the addition will raise up behind and to the right of the existing two-story tower stopping short of the smaller tower on the right rear corner. The new addition is visibly higher than the main façade parapet and the two-story tower roofline. The addition roofline will mimic the main house roof line in the same pitch and clay tile roof material and details. The addition will be two (2) feet and six (6) inches from the interior property line. The addition, as indicated on the plans will be 28 feet in height; at the highest point.

### DOCUMENTED AND CURRENT CONDITIONS

The Mission style historic structure at 1776 Challen Avenue was built in 1909 by the Beerbower Family. This structure is unique to the Avondale area as it was built prior to the development of the neighborhood. The Beerbower Family built the house themselves by bringing coquina from St. Augustine in a small row boat across the river to the lot and forming the blocks on site. The structure was designated as a local landmark in 1996 (LM-96-5) before the Riverside-Avondale Historic District was established therefore it is a local landmark and a contributing structure in the Riverside-Avondale Historic District. The style alone is significant due to the rarity in the Riverside-Avondale Historic District. A few years after the house was finished and the family moved in they constructed the front facing two-story tower. The tower was built for family member Elsie Janis, who became a famous singer, performer, and writer during World War I.

Based on a site visit and documentation provided by the applicant, it is the opinion of the Planning and Development Department that the addition will be a significant alteration to the historic structure. The structure is located on the south corner of Challen Avenue and Riverside Avenue where Riverside Avenue and Oak Street split into two streets. This intersection is highly travelled and the addition will be highly visible from this corner and from the front along Challen Avenue.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

### EFFECT OF WORK ON HISTORIC DISTRICT

When reviewing additions to historic structures, it is recommended that you evaluate the effect the addition may have on the surrounding and immediate area. The *Historic Preservation Design Regulations for the Riverside-Avondale Historic District (District Design Regulations)* note avoid when possible "Adding height to a building that changes its scale and character. Changes in height should not be visible when viewing the principal facades<sup>1</sup>." It is the opinion of the Planning and Development Department that the new addition, as proposed, has a significant negative impact on the structure due to the high visibility of the addition and the structure's location and directly

<sup>1</sup> *Historic Preservation Guidelines for the Riverside-Avondale Historic District*, The Jacksonville Planning and Development Department, 1992.

conflicts with the Design Regulations. The structure is located on a highly visible corner lot within the Riverside-Avondale Historic District. The two-story addition will be located in such a way that the entire new portion will be visible from both Challen Avenue and Riverside Avenue. The addition is taller than the entire house including the two-story tower which ensures it is out of scale for the structure and not consistent with the area.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property would be affected.*

#### **EFFECT OF WORK ON STRUCTURE OR SITE**

The *Secretary of the Interior's Standards for Rehabilitation* Standard #9 emphasizes "New work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment<sup>2</sup>." The addition towers over the front Mission parapet and the two-story tower and removes the chimney, all of which are character defining features of this landmark structure. In addition, there is concern that the plans indicate the material for the addition will be CMU block when the historic house is composed of coquina block. This difference in material is concerning as it is an architectural feature of the house and if it is not matched it will not be compatible with the house. Landmark structures have a higher threshold for alterations due to their significance especially when they are recognized for their architectural style such as this one. The addition, because of the scale and location will negatively impact the historic integrity of the structure. For the reasons stated above, it is the determination of the Planning and Development Department that the addition would not be consistent with Standard Nine.

4. *Whether the plans may be carried out by the applicant within a reasonable period of time*

#### **TIME FRAMES**

Chapter 307.106 (S) of the Jacksonville Ordinance Code states, "Any certificate of appropriateness which has been approved pursuant to the provisions of this Section shall expire 12 months from the date of issuance if the work authorized is not commenced within this period. Further, such certificate shall expire if the work authorized is not completed within five years of the date of issuance, unless otherwise extended by the Commission." It is the opinion of the Planning and Development Department that the proposed work can be completed within the aforementioned time frame.

<sup>2</sup> National Park Service, *Secretary's Standards for Rehabilitation*, <http://www.nps.gov/tps/standards/rehabilitation.htm>



Application Number
<b>COA-17-797</b>
Address
<b>1776 Challen Ave</b>
Request
<b>Two-story rear addition and reconstruction of the garage</b>
Contributing Status & District, or Landmark Status
<b>Local landmark and Contributing Structure to the Riverside-Avondale Historic District</b>
Summary
<b>The applicant is requesting to construct a two-story rear addition that will attach to the newly reconstructed garage. The addition is higher than the historic house.</b>
Staff Recommendation
<b>Deny</b>
Proposed Conditions (if any)

August 23, 2017

**THE REPORT OF THE PLANNING AND DEVELOPMENT DEPARTMENT**  
**CERTIFICATE OF APPROPRIATENESS APPLICATION COA-17-797**

<b>Address:</b>	1776 Challen Avenue	<b>Year Built:</b>	c. 1909
<b>Location:</b>	South corner of Challen Avenue and Riverside Avenue	<b>Designation:</b>	Riverside-Avondale
		<b>Status:</b>	Contributing/Local Landmark
<b>Owner:</b>	Virginia Harris 1776 Challen Ave Jacksonville, FL 32205	<b>Applicant:</b>	David Rinzler 6944 St. Augustine Rd. #D Jacksonville, FL 32217

**REQUEST / RECOMMENDATION**

**Request:** Rear Addition and Reconstruction of Garage  
**Recommendation:** Deny

It is the position of the Planning and Development Department that the proposed work under the stated conditions would not be consistent with all or in part with:

1. The *Historic Preservation Design Regulations for the Riverside-Avondale Historic District's* section on "Additions"
2. The *Secretary of the Interior's Standards for Rehabilitation* number: 9
3. Chapter 307.106(k) General Standards: 1, 2, 3 and 4
4. Chapter 307.106(l) Guidelines on Alterations: 2

**GENERAL INFORMATION**

Chapter 307.106(k), *City of Jacksonville Ordinance Code* states that in considering applications for a Certificate of Appropriateness for alterations, new construction, demolition, or relocation, the Commission shall be guided by four general standards. Chapter 307.106(l), *City of Jacksonville Ordinance Code* states that in considering applications for Certificates of Appropriateness for alterations, the Jacksonville Historic Preservation Commission shall consider eight additional standards that reflect the same concerns as the *Secretary of the Interior Standards for Rehabilitation*. In an effort to streamline the staff findings and recommendation, these additional standards are addressed under #2 and #3.

**GUIDELINES, STANDARDS AND FINDINGS**

1. *The effect of the proposed work on the landmark, landmark site or property within a historic district upon which such work is to be done;*

**DESCRIPTION OF WORK**

The applicant is requesting approval to construct a two-story addition off the rear of the house, reconstruct the original garage and relocate it closer to Riverside Avenue, and attach the garage to the new addition. The new two-story addition will be located behind the Mission Style parapet wall



on the front of the house. It will attach at the left rear corner of the house and extend towards the rear property line, running the length of the lot towards Riverside Ave where it attaches to the newly reconstructed garage even with the main house along Riverside Ave. The addition will leave a square area in the center of the lot to create a private courtyard area. The proposed new square footage will be 4903 under roof where currently it is approximately 2572 square feet not including the detached garage with the addition. The plans indicate the use of CMU blocks on the majority of the addition. They will have a split face block used on the corner quoins along the Riverside Ave elevation to match the historic design. From the front façade, the addition will raise up behind and to the right of the existing two-story tower stopping short of the smaller tower on the right rear corner. The new addition is visibly higher than the main façade parapet and the two-story tower roofline. The addition roofline will mimic the main house roof line in the same pitch and clay tile roof material and details. The addition will be two (2) feet and six (6) inches from the interior property line. The addition, as indicated on the plans will be 28 feet in height; at the highest point.

### DOCUMENTED AND CURRENT CONDITIONS

The Mission style historic structure at 1776 Challen Avenue was built in 1909 by the Beerbower Family. This structure is unique to the Avondale area as it was built prior to the development of the neighborhood. The Beerbower Family built the house themselves by bringing coquina from St. Augustine in a small row boat across the river to the lot and forming the blocks on site. The structure was designated as a local landmark in 1996 (LM-96-5) before the Riverside-Avondale Historic District was established therefore it is a local landmark and a contributing structure in the Riverside-Avondale Historic District. The style alone is significant due to the rarity in the Riverside-Avondale Historic District. A few years after the house was finished and the family moved in they constructed the front facing two-story tower. The tower was built for family member Elsie Janis, who became a famous singer, performer, and writer during World War I.

Based on a site visit and documentation provided by the applicant, it is the opinion of the Planning and Development Department that the addition will be a significant alteration to the historic structure. The structure is located on the south corner of Challen Avenue and Riverside Avenue where Riverside Avenue and Oak Street split into two streets. This intersection is highly travelled and the addition will be highly visible from this corner and from the front along Challen Avenue.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

### EFFECT OF WORK ON HISTORIC DISTRICT

When reviewing additions to historic structures, it is recommended that you evaluate the effect the addition may have on the surrounding and immediate area. The *Historic Preservation Design Regulations for the Riverside-Avondale Historic District (District Design Regulations)* note avoid when possible “Adding height to a building that changes its scale and character. Changes in height should not be visible when viewing the principal facades<sup>1</sup>.” It is the opinion of the Planning and Development Department that the new addition, as proposed, has a significant negative impact on the structure due to the high visibility of the addition and the structure’s location and directly

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<sup>1</sup> *Historic Preservation Guidelines for the Riverside-Avondale Historic District*, The Jacksonville Planning and Development Department, 1992.

conflicts with the Design Regulations. The structure is located on a highly visible corner lot within the Riverside-Avondale Historic District. The two-story addition will be located in such a way that the entire new portion will be visible from both Challen Avenue and Riverside Avenue. The addition is taller than the entire house including the two-story tower which ensures it is out of scale for the structure and not consistent with the area.

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The *Secretary of the Interior's Standards for Rehabilitation* Standard #9 emphasizes "New work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment<sup>2</sup>." The addition towers over the front Mission parapet and the two-story tower and removes the chimney, all of which are character defining features of this landmark structure. In addition, there is concern that the plans indicate the material for the addition will be CMU block when the historic house is composed of coquina block. This difference in material is concerning as it is an architectural feature of the house and if it is not matched it will not be compatible with the house. Landmark structures have a higher threshold for alterations due to their significance especially when they are recognized for their architectural style such as this one. The addition, because of the scale and location will negatively impact the historic integrity of the structure. For the reasons stated above, it is the determination of the Planning and Development Department that the addition would not be consistent with Standard Nine.

4. *Whether the plans may be carried out by the applicant within a reasonable period of time*

#### **TIME FRAMES**

Chapter 307.106 (S) of the Jacksonville Ordinance Code states, "Any certificate of appropriateness which has been approved pursuant to the provisions of this Section shall expire 12 months from the date of issuance if the work authorized is not commenced within this period. Further, such certificate shall expire if the work authorized is not completed within five years of the date of issuance, unless otherwise extended by the Commission." It is the opinion of the Planning and Development Department that the proposed work can be completed within the aforementioned time frame.

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<sup>2</sup> National Park Service, *Secretary's Standards for Rehabilitation*, <http://www.nps.gov/tps/standards/rehabilitation.htm>

# Application for Certificate of Appropriateness

<b>COA - 17-797</b>	
Date Received:	8/1/17
Planner Initials:	JMK
Date Found Complete:	
<input type="checkbox"/> Violation/Citation #:	
<input type="checkbox"/> Plan Review/COA Inspection Required	

For more information regarding this form call: (904) 255-7859. Submit signed, completed form in person, by email (historicpreservation@coj.net), U.S. mail (see address below), or by faxing it to: (904) 255-7885.

PROPERTY INFORMATION				
Property Designation	<input checked="" type="checkbox"/> Riverside/Avondale Historic District	<input type="checkbox"/> St. Johns Quarter Historic District	<input type="checkbox"/> Springfield Historic District	<input type="checkbox"/> Local Landmark
Property Address	1776 Challen Ave			Zip Code 32205
Real Estate #	078590-0000			
Type of Improvement	Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible (Example: reroof; replacing grey 3-tab shingles with black architectural shingles). Submit all required supplemental information/documentation (See Required Attachments) with application.			
Demolition of existing garage structure. Replace garage with new 1 1/2 car garage and new master bedroom and bath above; new family room and guest bedroom on 1st level.				

APPLICANT INFORMATION (Please Print Name)			
Applicant is (check one and must sign below): <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Architect <input type="checkbox"/> Other agent			
★ Building Owner's Name: Virginia Harris		Architect's Name: Phil Kean	
Address: 1776 Challen Ave		Address: 912 W. Fairbanks Ave	
City, State & Zip: Jacksonville, FL 32205		City, State & Zip: Winter Park FL 32789	
Phone: 904-349-3221	Fax:	Phone: 407-599-3922	Fax:
Email: gingerpdco@gmail.com		Email: david@philkeandesigns.com	
Agent represents <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Architect <input type="checkbox"/> Consultant <input type="checkbox"/> Other			
Contractor's Name: Browdy & Browdy Inc		Agent's Name: David Rinzer/Browdy+Browdy	
Address: 6944 St. Augustine Road # D		Address: 6944 St. Augustine Rd #D	
City, State & Zip: Jacksonville FL 32217		City, State & Zip: Jacksonville FL 32217	
Phone: 904-739-5195	Fax:	Phone: 904-509-4483	Fax:
Email: drinz@mac.com		Email: drinz@mac.com	

I HEREBY CERTIFY that I understand this application will not be processed until all the requested information has been supplied and is not considered complete until staff determines it is complete. I also understand this application may require a site visit, completeness review meeting, additional research, staff discussion and a PUBLIC HEARING by the JACKSONVILLE HISTORIC PRESERVATION COMMISSION (JHPC) which may affect the processing time.

Print name and Signature(s) of Owner(s) \_\_\_\_\_ Date \_\_\_\_\_

David Rinzer *David Rinzer* 8/1/17  
 Print name and Signature of Agent/Arch/Cont \_\_\_\_\_ Date \_\_\_\_\_

★ Owner's Information and Signature Always Required

COA-17-797

THIS SIDE ADMINISTRATIVE USE ONLY  
IF APPROVED, THIS CERTIFICATE IS VALID TO INITIATE WORK FOR ONE YEAR AND TO COMPLETE WORK WITHIN FIVE YEARS.  
A COPY OF THIS CERTIFICATE MUST REMAIN ON JOB SITE AND BE AVAILABLE TO INSPECTORS FOR THE DURATION OF THE WORK.

**PLANNING AND DEVELOPMENT DEPARTMENT**

<input type="checkbox"/> Approve	<input type="checkbox"/> Approved with Conditions	<input type="checkbox"/> Denied	<input type="checkbox"/> Withdrawn	<input checked="" type="checkbox"/> Forwarded to the JHPC *	Date of Action: 8/1/17
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*John McEwen*  
 \_\_\_\_\_  
 Historic Preservation Planner

ALL ADMINISTRATIVE REVIEW OF COA'S IS AVAILABLE TO THE JHPC. NORMAL FEES APPLY. ANY DEVIATION FROM THE APPROVED PLAN, INCLUDING BOTH DESIGN AND MATERIAL, REQUIRE ADDITIONAL REVIEW AND APPROVAL BY THE HISTORIC PRESERVATION SECTION PRIOR TO IMPLEMENTATION. ANY CONDITIONS ARE INCLUDED AS A REQUIREMENT OF ANY BUILDING PERMIT FOR WHICH THE COA IS ISSUED.

**PUBLIC HEARING NOTIFICATION FOR APPLICATIONS FORWARDED TO THE JHPC**

Street Signage     Meeting notice to parties listed under "APPLICANT INFORMATION"   

I hereby certify that I have received 2 sign(s) to be posted by 8/1/17 in a street visible location on all street sides of the subject property, or otherwise determined by the Planning and Development Department. I understand it is my responsibility to maintain the signage until a final determination has been made by the Commission.

*Richard S. Brody*    8/1/17  
 \_\_\_\_\_  
 SIGNATURE OF RECIPIENT(S)    DATE

\* APPLICATIONS REVIEWED BY THE JHPC REQUIRE FINAL ORDER FOR PERMITTING.

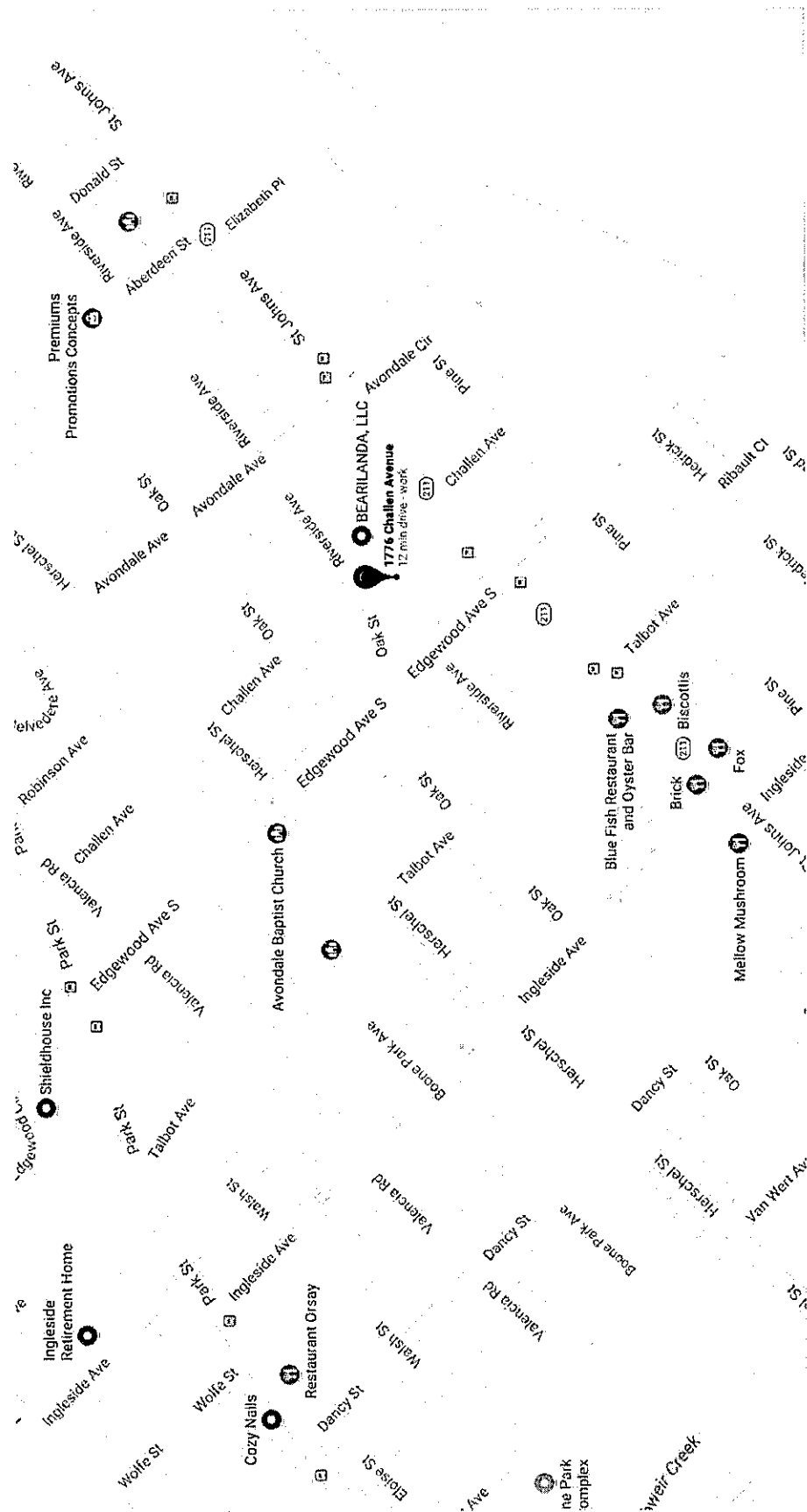
**AMENDMENT SECTION**

Describe nature of amendment including scope of work and extension date. To be signed and dated by staff.

\_\_\_\_\_

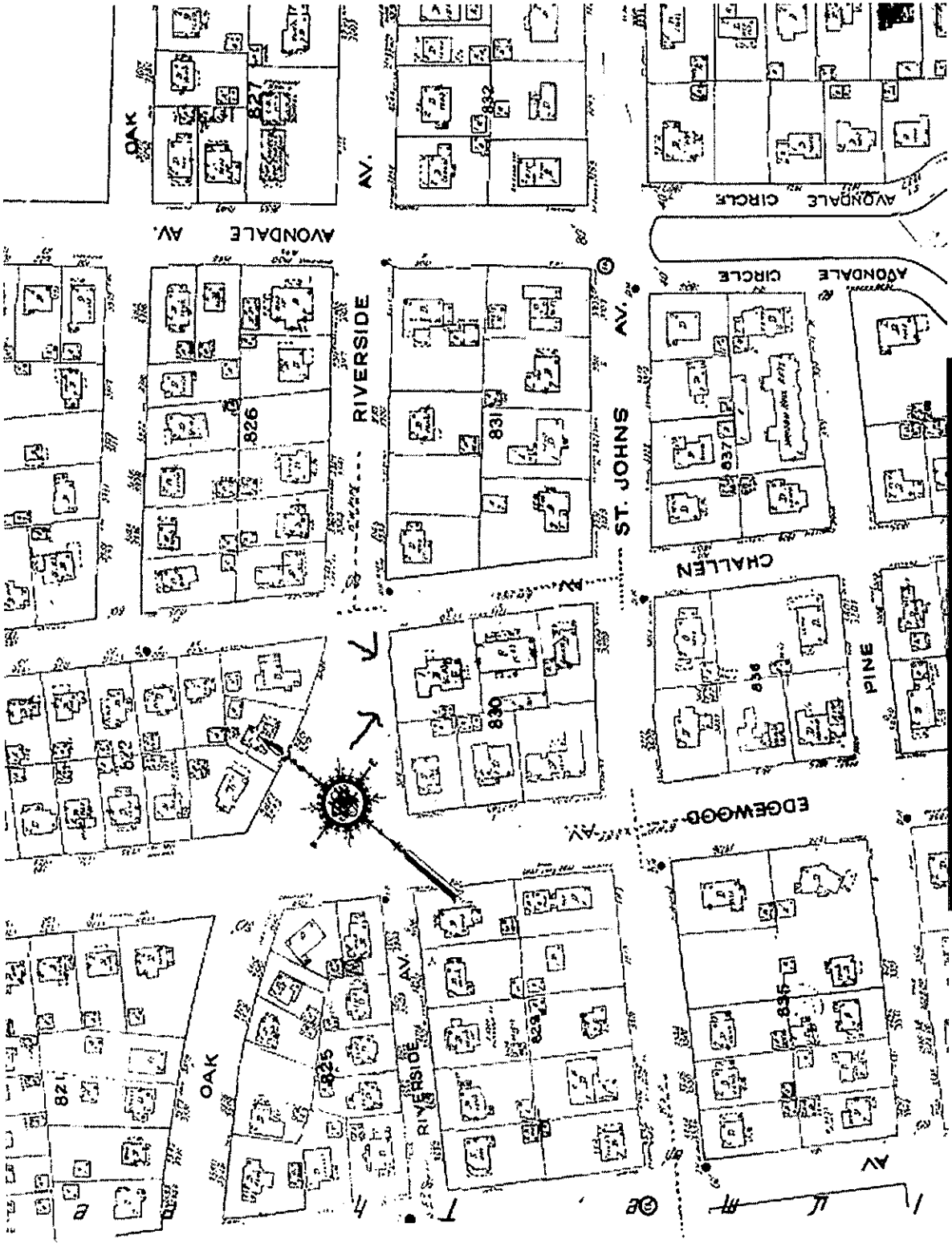
# 1776 CHALLEN AVE

COA-17-797



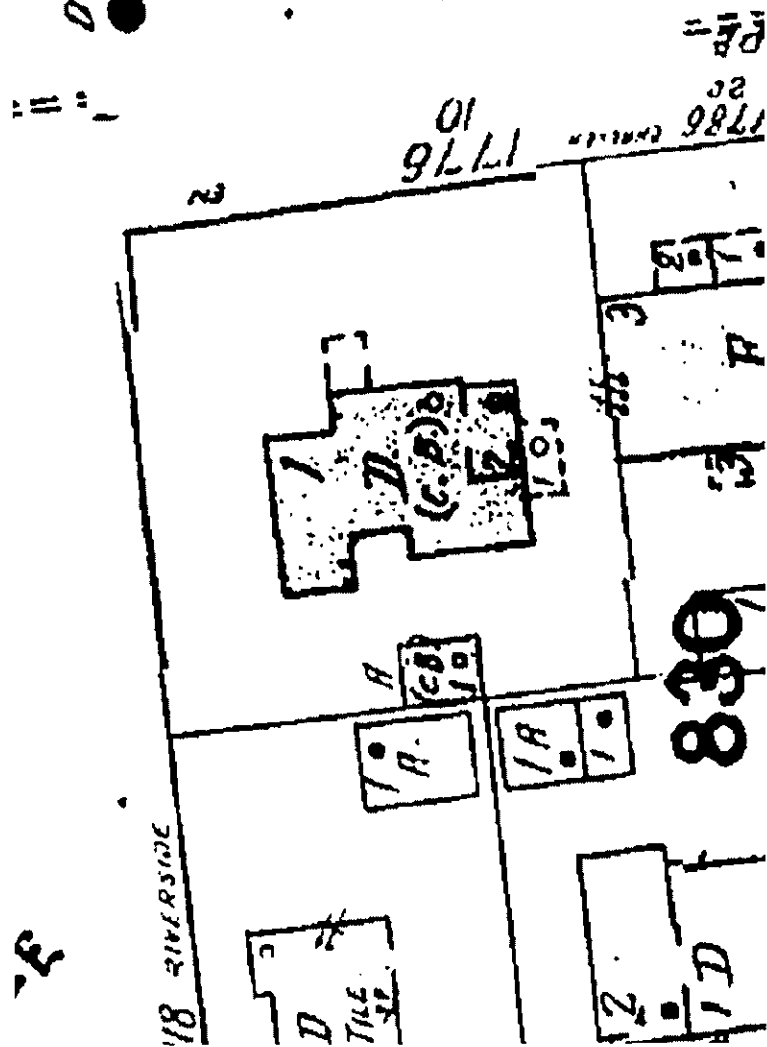
COA-17-797

1776 CHALLENGE AVE

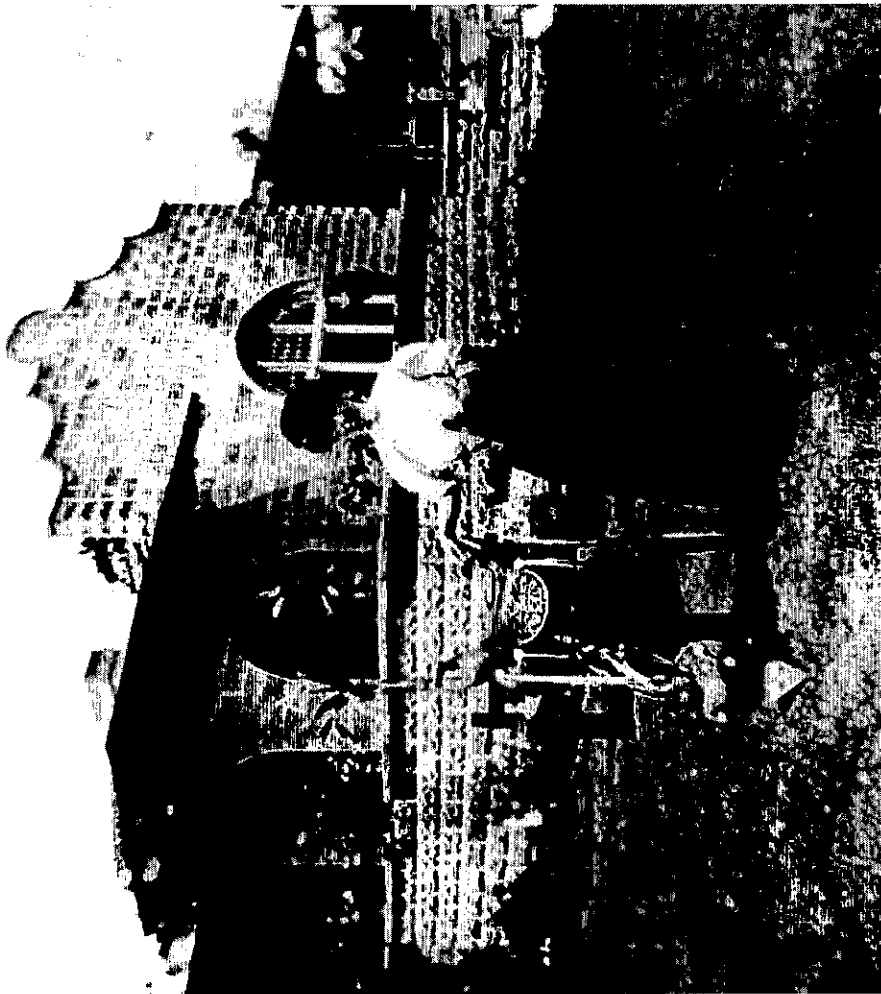


COA-17-797

1776 CHALLEN AVE



COA-17-797



1776 CHALLEN AVE





1776 CHALLEN AVE

COA-17-797




COA-17-797

1776 CHALLENGE AVE


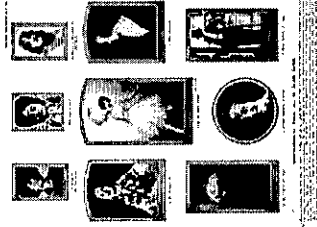
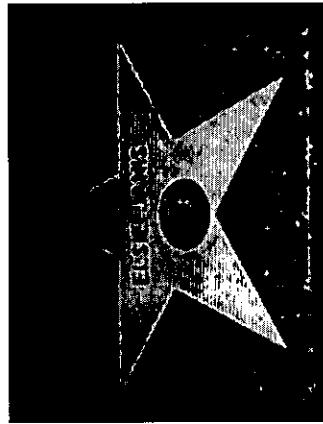
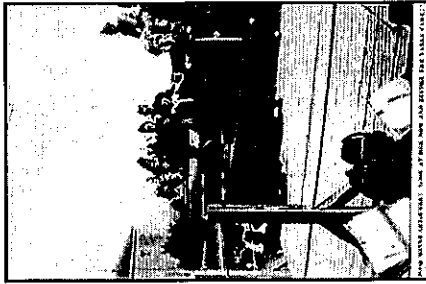
**APRES LA GUERRE**  
( AFTER THE WAR )

Sung by **ELSIE JANIS** AND HER "GANG"



LYRIC AND MUSIC BY **B. C. HILLIAM**  
Composer of "BUDDIES"

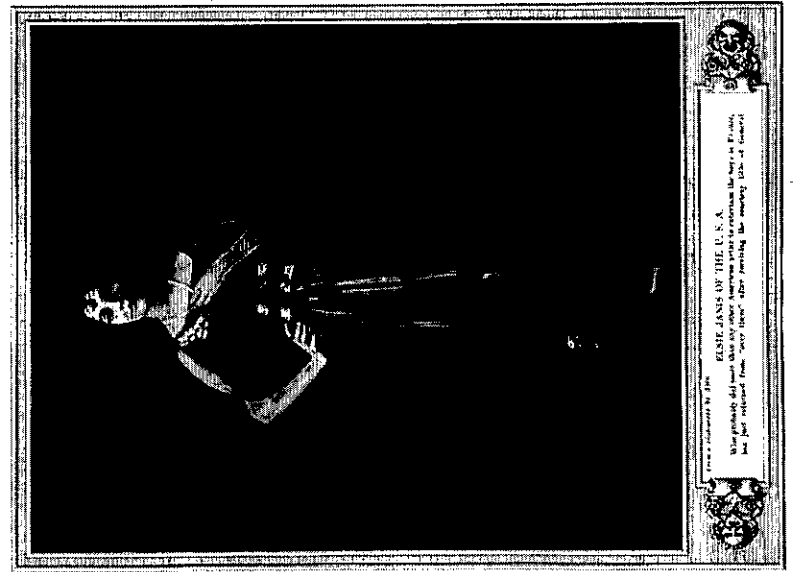
M. WITMARK & SONS  
NEW YORK

THEATRE MAGAZINE

Vol. XXV. No. 226.

JUNE 1919



From a production by John ... **ELSIE JANIS OF THE U. S. A.** ...  
 When she was only a child she was ...  
 her first ...



SEIZING A ...  
**ELSIE JANIS** ...  
 A BEAUBAUB GUY!

1776 CHALLEN AVE

COA-17-797



**COA-17-797**

**1776 CHALLEN AVE**



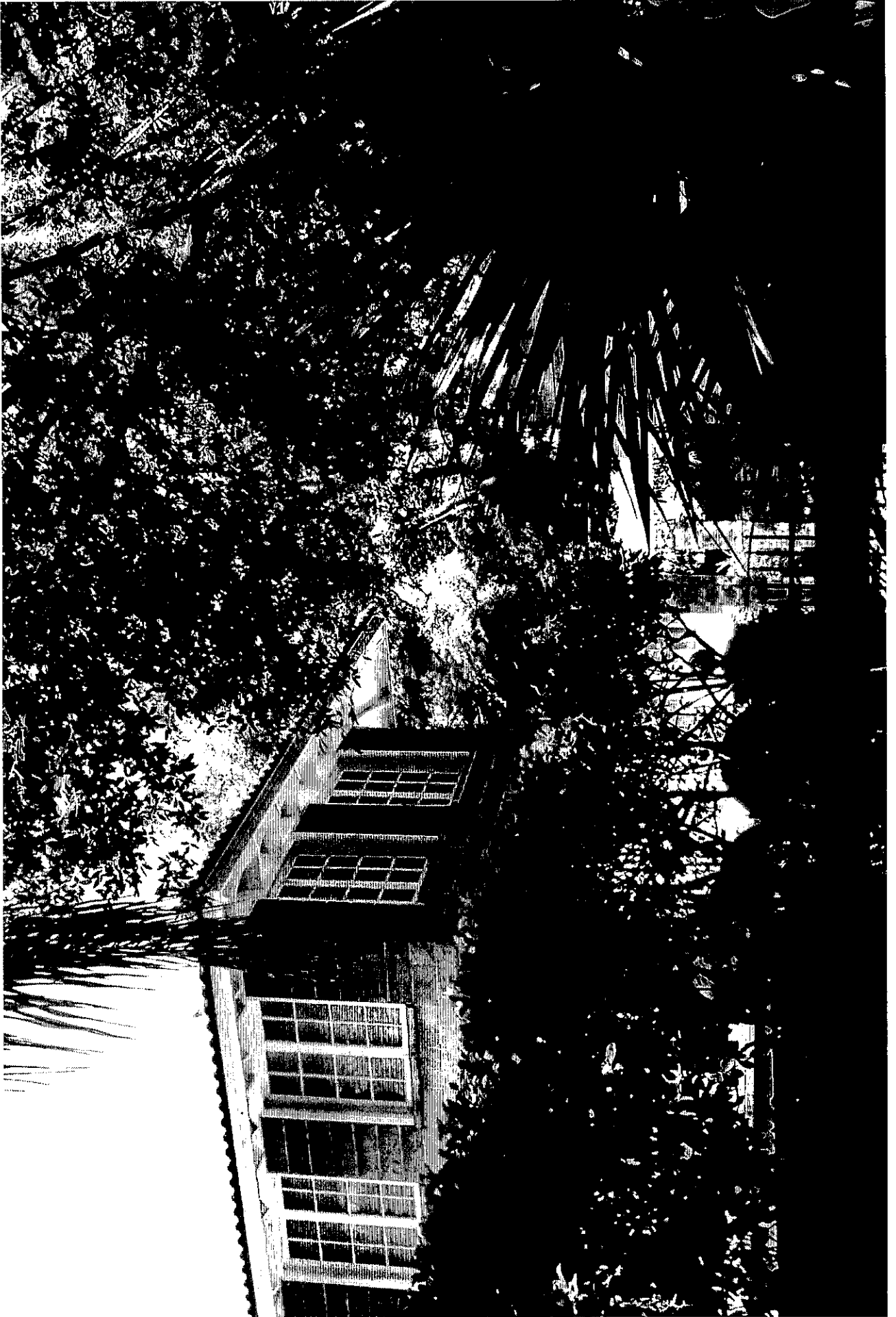
COA-17-797

1776 CHALLEN AVE



**1776 CHALLEN AVE**

**COA-17-797**



COA-17-797

1776 CHALLENGE AVE



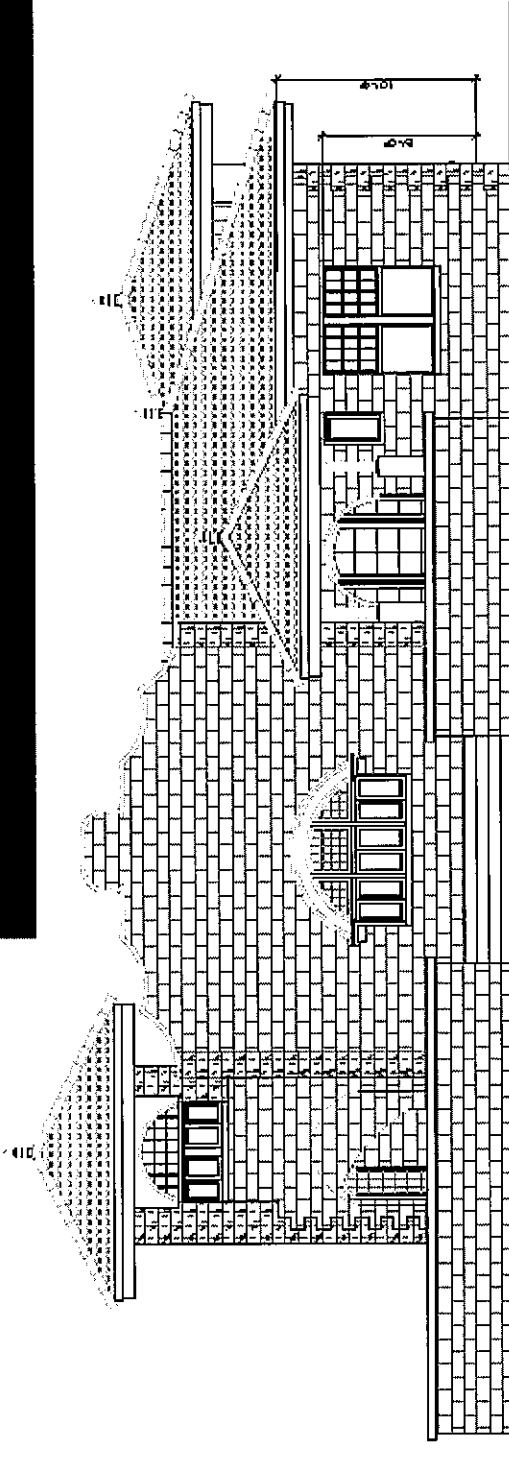
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COA-17-797

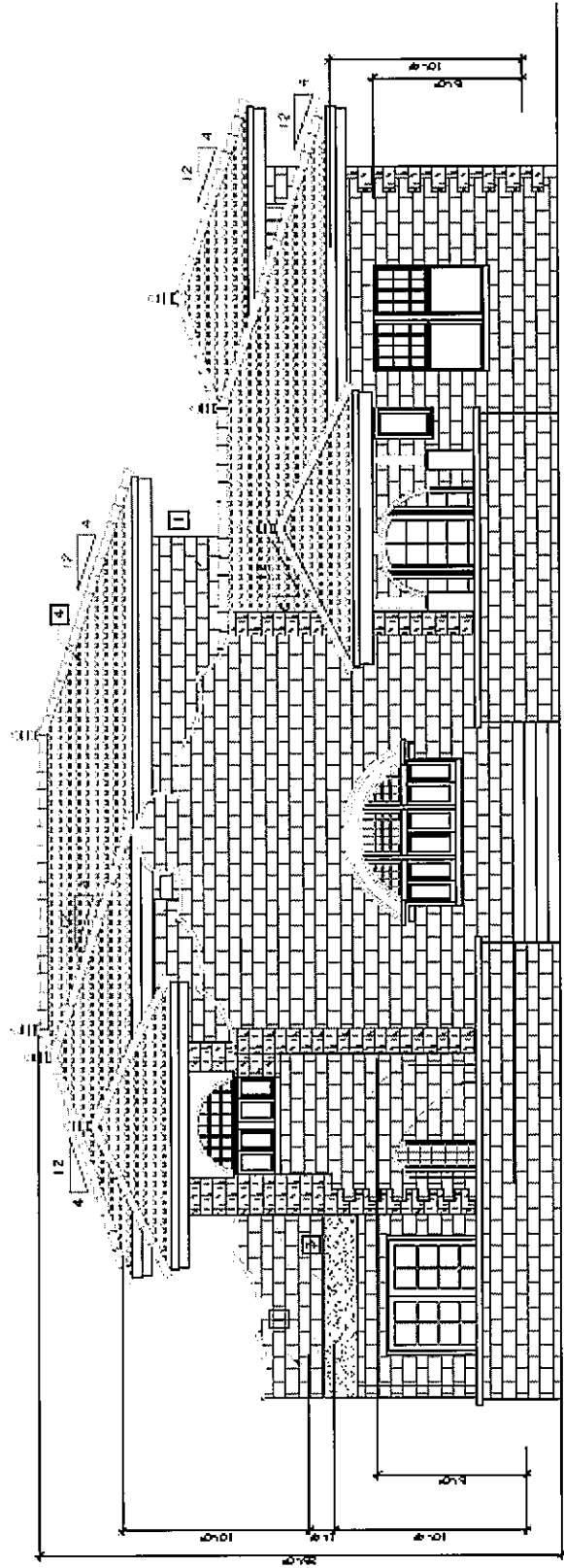






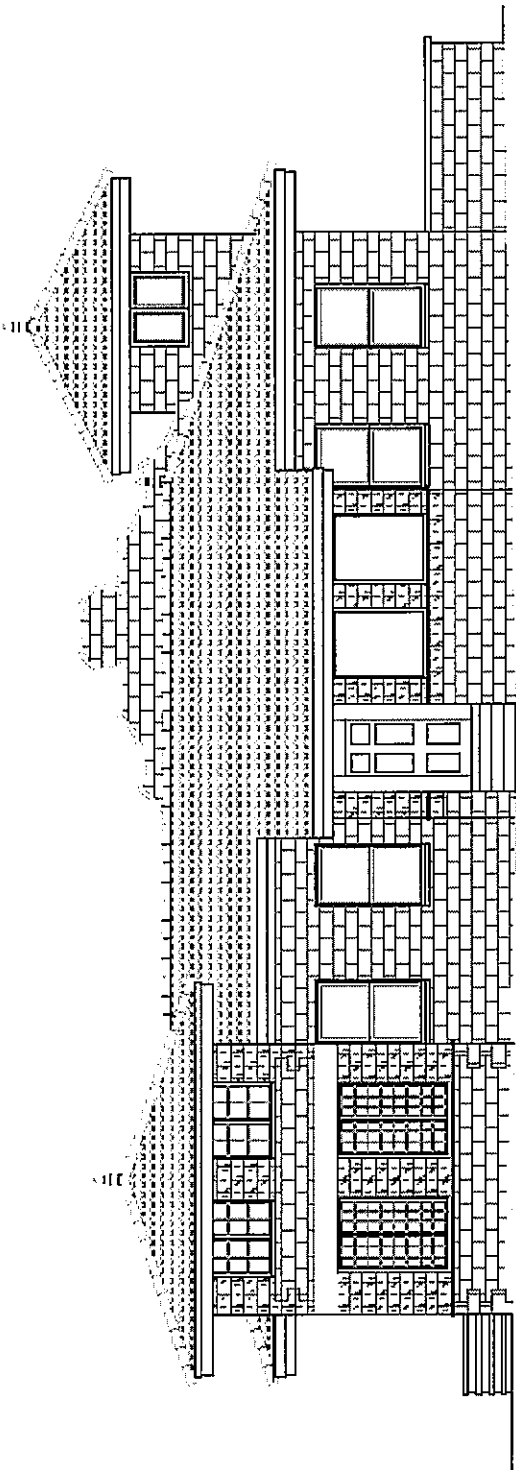


FRONT ELEVATION



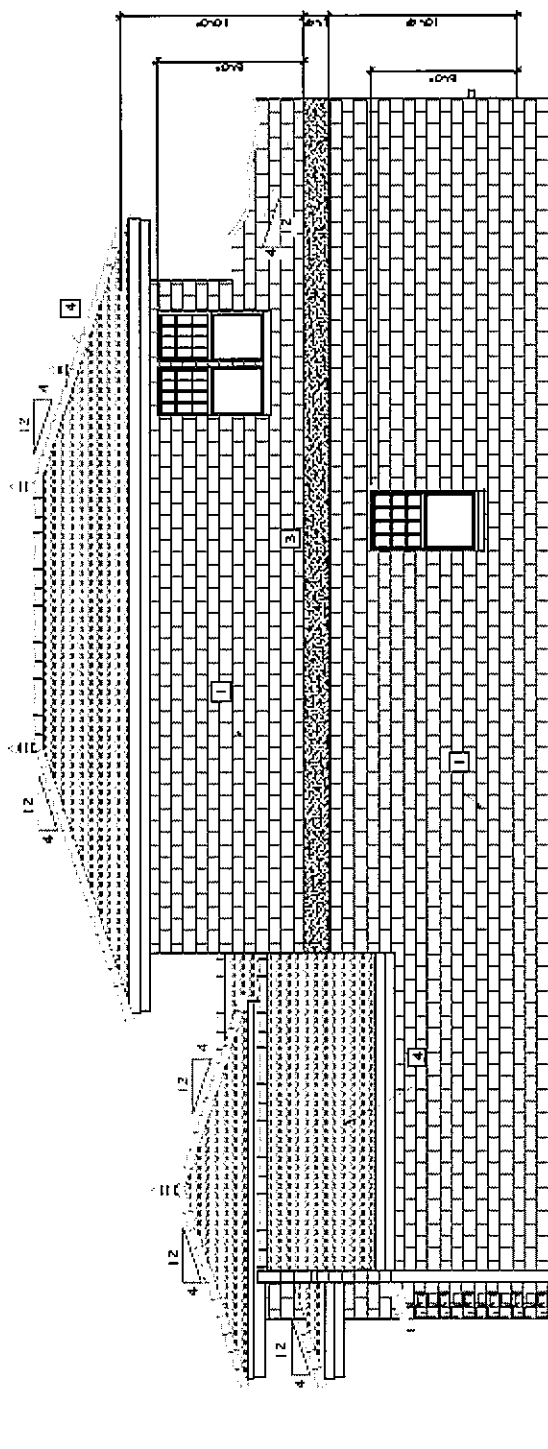
PROPOSED FRONT ELEVATION

SCALE 1/8" = 1'-0" NOTE ALL HWY CHU BLOCK TO MATCH THE EXISTING



REAR ELEVATION

SCALE: 1/4" = 1'-0"

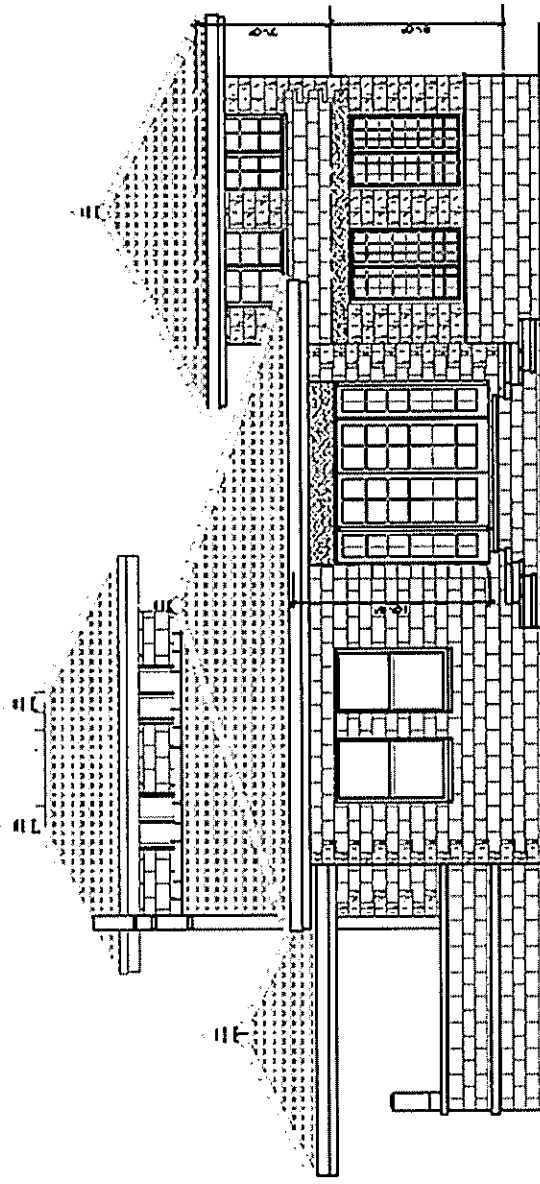


PROPOSED REAR ELEVATION

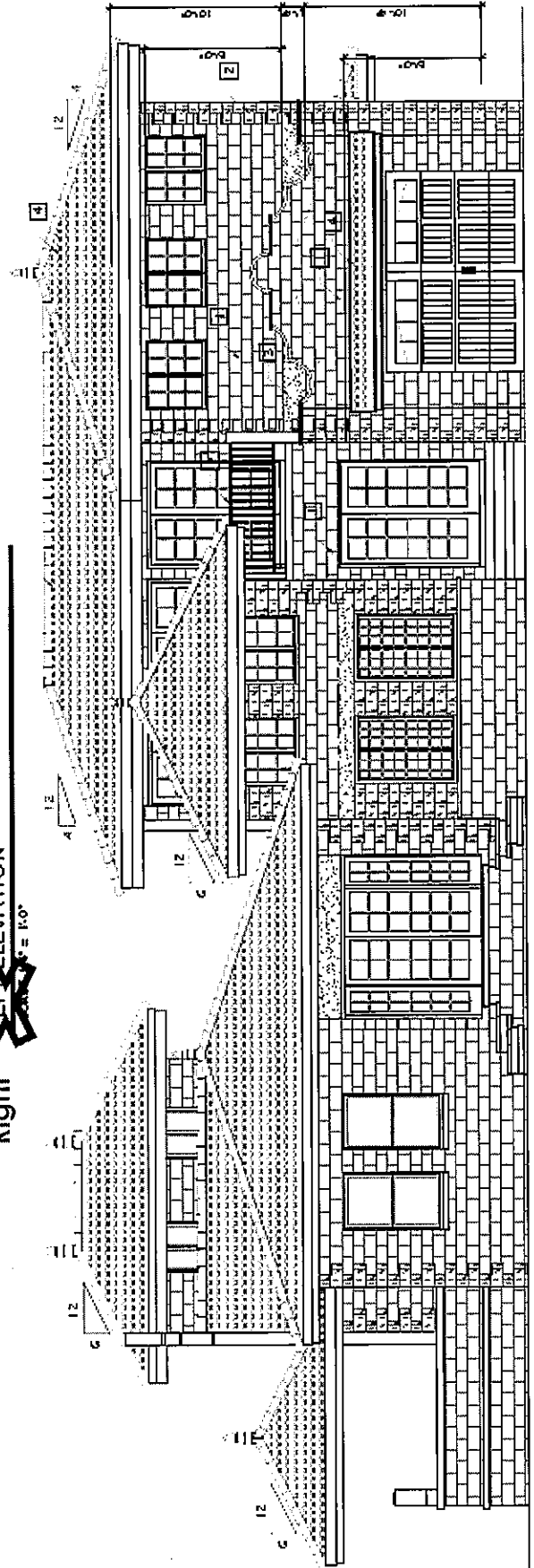
SCALE: 1/4" = 1'-0" NOTE ALL NEW CMU BLOCK TO MATCH THE EXISTING

COA-17-797

1776 CHALLENGE AVE



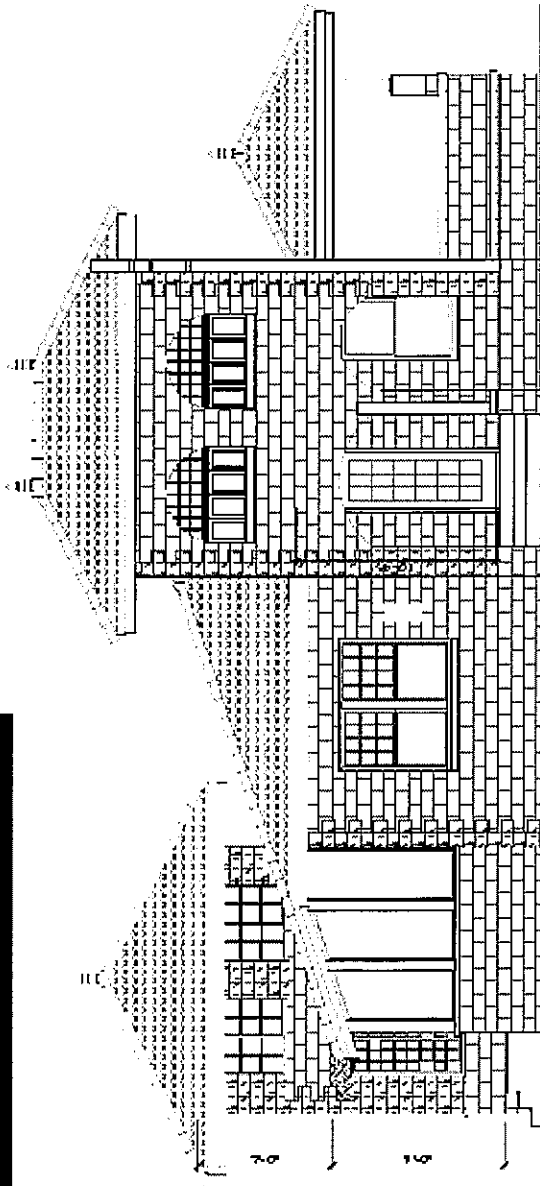
Right  
ELEVATION  
SCALE = 1/8" = 1'-0"



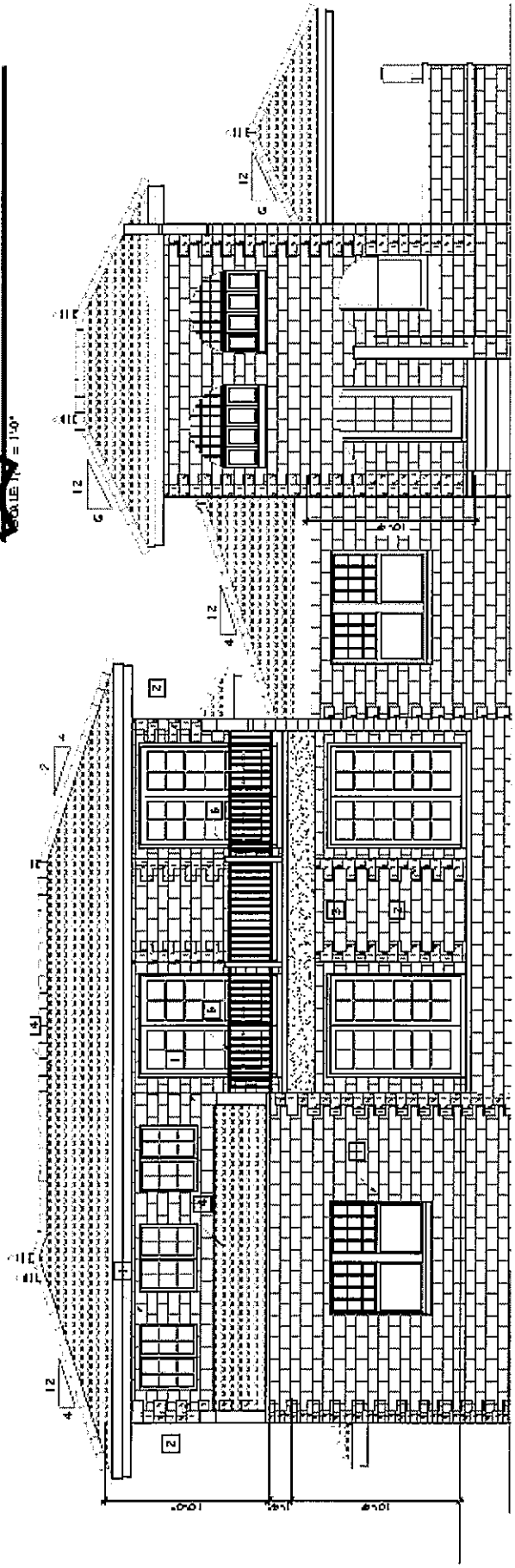
PROPOSED RIGHT ELEVATION

COA-17-797

1776 CHALLENGE AVE



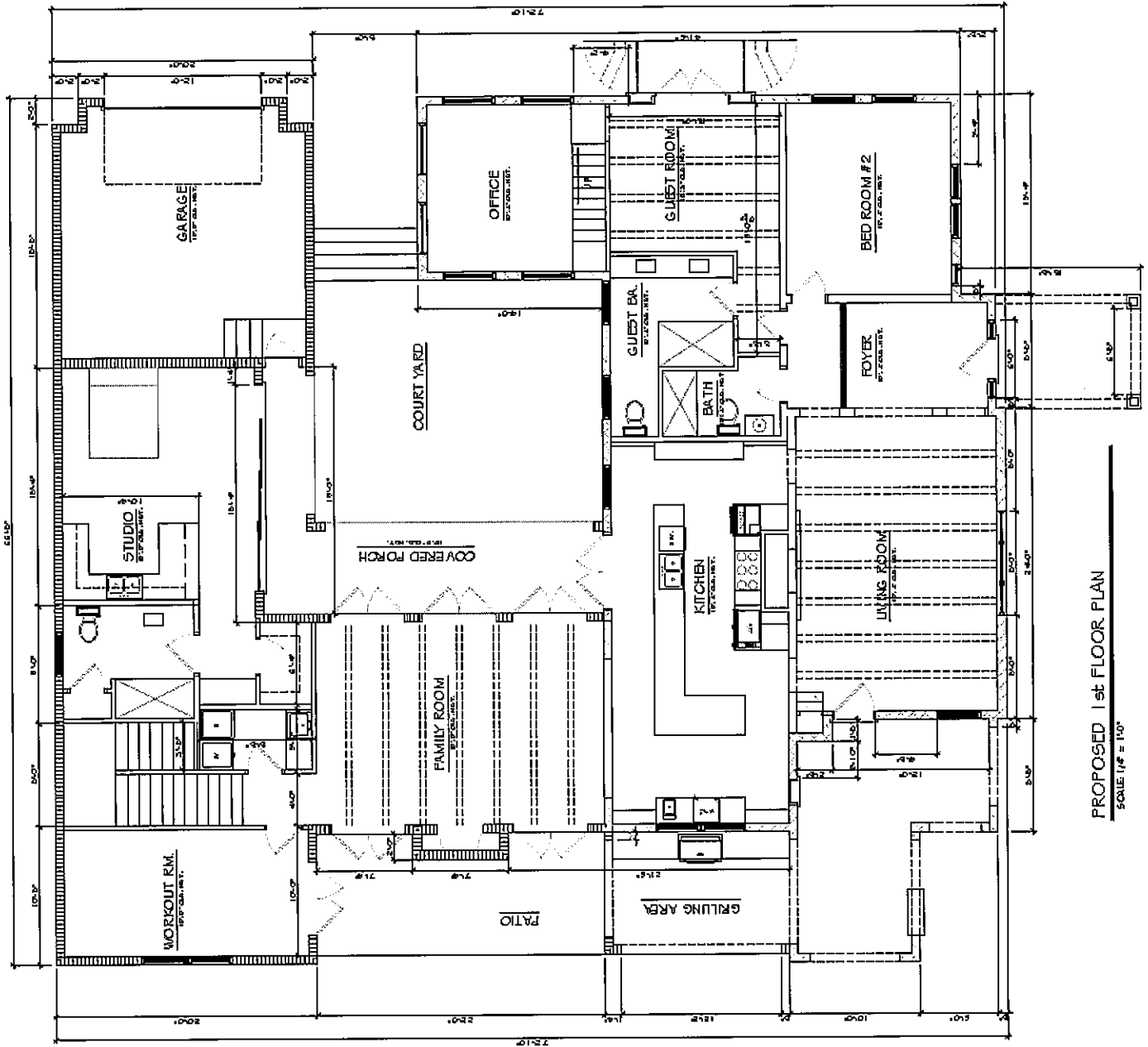
~~EXIST~~ ELEVATION  
Left  
SCALE 1/4" = 1'-0"



PROPOSED LEFT ELEVATION

SCALE 1/4" = 1'-0" NOTES: 0.11 4 BR/SH/III BRICK TO MATCH THE EXISTING.

**COA-17-797  
1776 CHALLENGE AVE**

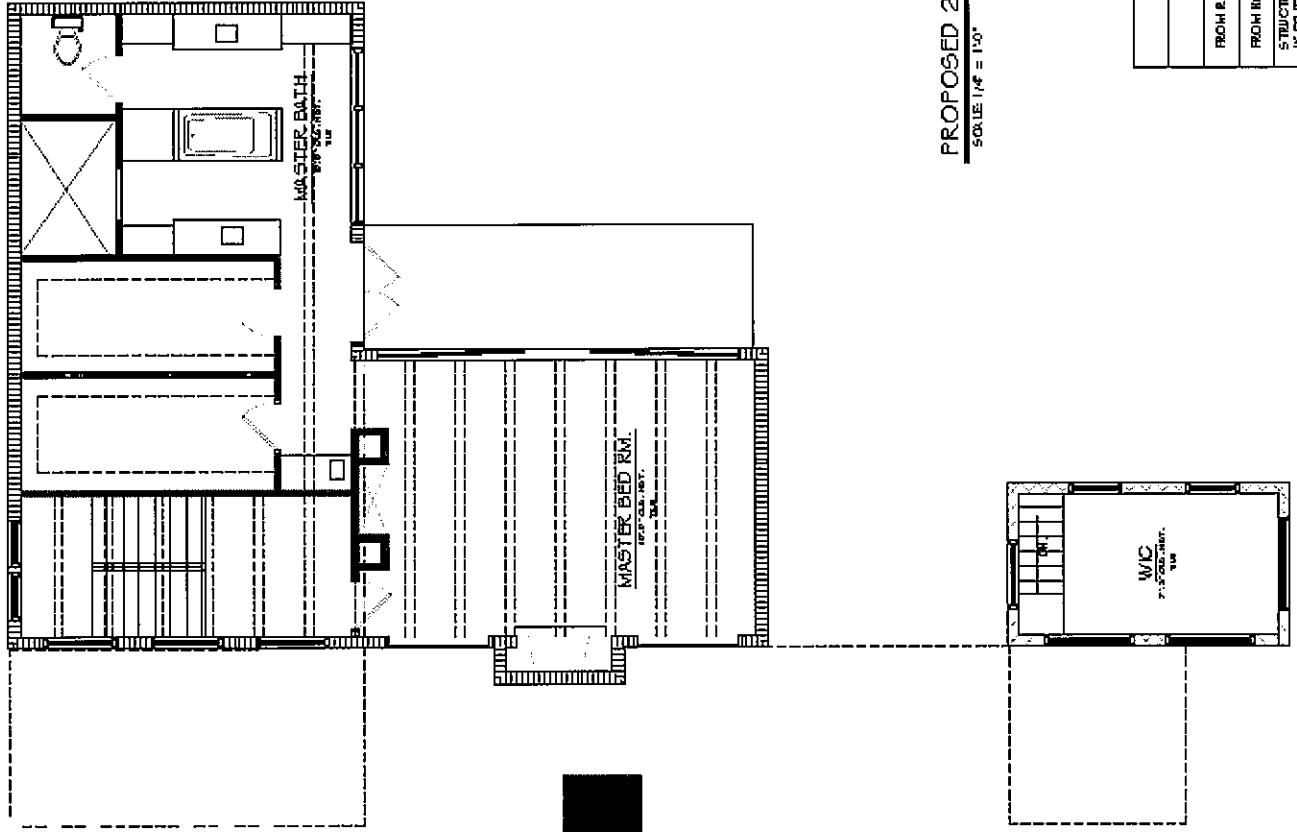


PROPOSED 1st FLOOR PLAN  
SCALE 1/8" = 1'-0"



**COA-17-797**  
**1776 CHALLENGE AVE**

2. FROV DEZX BICKONG AT M  
 STUD WALLS.



**PROPOSED 2nd FLOOR PLAN**  
 SCALE 1/4" = 1'-0"

DWELLING / GARAGE SEPARATION		CRIBLE
SEPARATION	WATER	NOT LESS THAN 1 INCH CYR EQUVALENT TO MECA BAL EQUVALENT
FROM RESIDENCE AND ATTICS		NOT LESS THAN 1/2 INCH TYP EQUVALENT
FROM HABITABLE ROOMS ABOVE GARAGE		NOT LESS THAN 1/2 INCH CYR EQUVALENT
STRUCTURAL (RES) SUPPORTING FLOORING ASSEMBLIES USED TO SEPARATE FROM RESIDENTIAL		NOT LESS THAN 1/2 INCH CYR EQUVALENT
CARPORTS LOCATED LESS THAN 3 FEET		NOT LESS THAN 1/2 INCH CYR





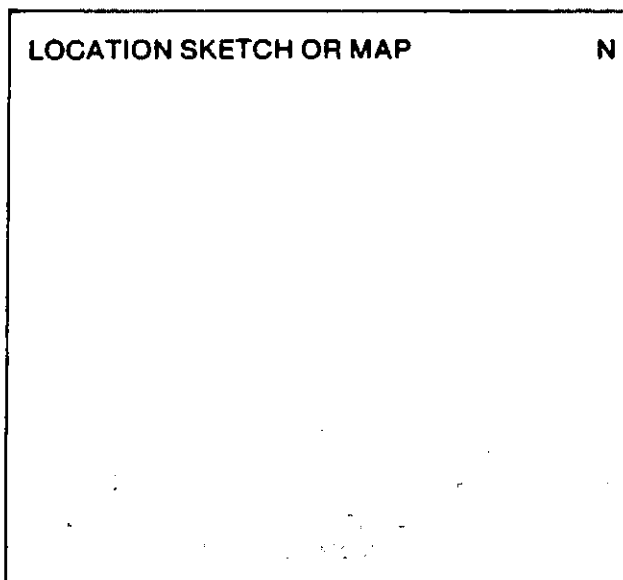
ARCHITECT \_\_\_\_\_ 872 ==  
 BUILDER Beerbowers (Jacksonville) 874 ==  
 STYLE AND/OR PERIOD Masonry Vernacular 964 ==  
 PLAN TYPE Irregular 966 ==  
 EXTERIOR FABRIC(S) Concrete block # coquina cement 854 ==  
 STRUCTURAL SYSTEM(S) Masonry: concrete block 856 ==  
 PORCHES NE/terrace with concrete step piers and hexagonal tile floor lead to  
N/1-story porch with concrete posts and pantile roof # S/loggia 942 ==  
 FOUNDATION: Continuous concrete block 942 ==  
 ROOF TYPE: Flat with built up parapet 942 ==  
 SECONDARY ROOF STRUCTURE(S): Tower: hip # porch: hip 942 ==  
 CHIMNEY LOCATION: ---- 942 ==  
 WINDOW TYPE: Casement, 3 lite, wood, ribbon # casement, 24 lite, 942 ==  
 CHIMNEY: ----- 882 ==  
 ROOF SURFACING: Tile: pan 882 ==  
 ORNAMENT EXTERIOR: Stone 882 ==  
 NO. OF CHIMNEYS --- 952 == NO. OF STORIES 1 1/2 950 ==  
 NO. OF DORMERS --- 954 ==  
 Map Reference (incl. scale & date) \_\_\_\_\_ 809 ==

Latitude and Longitude: \_\_\_\_\_

800 ==

Site Size (Approx. Acreage of Property): Lt 1

833 ==



Township	Range	Section
2S	26E	43

812 ==

UTM Coordinates:

Zone Easting Northing

890 ==

Photographic Records Numbers \_\_\_\_\_

860 ==

Contact Print

**HARRIS VIRGINIA E**  
1776 CHALLENGE AVE  
JACKSONVILLE, FL 32205-8531

**Primary Site Address**  
1776 CHALLENGE AVE  
Jacksonville FL 32205

**Official Record Book/Page**  
14703-01203

**1776 CHALLENGE AVE**

**Property Detail**

RE #	078590-0000
Tax District	USD1
Property Use	0100 Single Family
# of Buildings	1
Legal Desc.	For full legal description see Land & Legal section below
Subdivision	01335 EDGEWOOD
Total Area	13477
Characteristics	Historic Designation Historic Designation

**Value Summary**

	2016 Certified	2017 In Progress
Value Method	CAMA	CAMA
Total Building Value	\$272,629.00	\$281,111.00
Extra Feature Value	\$9,029.00	\$9,238.00
Land Value (Market)	\$161,025.00	\$161,025.00
Land Value (Agric.)	\$0.00	\$0.00
Just (Market) Value	\$442,683.00	\$451,374.00
Assessed Value	\$105,061.00	\$107,267.00
Cap Diff/Portability Amt	\$337,622.00 / \$0.00	\$344,107.00 / \$0.00
Exemptions	\$50,000.00	See below
Taxable Value	\$55,061.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). 'In Progress' property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification. [Learn how the Property Appraiser's Office values property.](#)

**Taxable Values and Exemptions – In Progress**

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value		SJRWD/FIND Taxable Value		School Taxable Value	
Assessed Value	\$107,267.00	Assessed Value	\$107,267.00	Assessed Value	\$107,267.00
Homestead (HX)	-\$25,000.00	Homestead (HX)	-\$25,000.00	Homestead (HX)	-\$25,000.00
Homestead Banding 196.031(1)(b) (HB)	-\$25,000.00	Homestead Banding 196.031(1)(b) (HB)	-\$25,000.00	<b>Taxable Value</b>	<b>\$82,267.00</b>
<b>Taxable Value</b>	<b>\$57,267.00</b>	<b>Taxable Value</b>	<b>\$57,267.00</b>		

**Sales History**

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
14703-01203	11/4/2008	\$208,500.00	QC - Quit Claim	Unqualified	Improved
08355-01483	5/16/1996	\$100.00	MS - Miscellaneous	Unqualified	Improved
08355-01481	5/3/1996	\$100.00	MS - Miscellaneous	Unqualified	Improved
08355-01479	5/2/1996	\$100.00	MS - Miscellaneous	Unqualified	Improved
08355-01477	5/2/1996	\$100.00	MS - Miscellaneous	Unqualified	Improved
08355-01475	5/7/1996	\$100.00	MS - Miscellaneous	Unqualified	Improved
08355-01473	5/6/1996	\$100.00	MS - Miscellaneous	Unqualified	Improved
08355-01470	5/16/1996	\$91,700.00	MS - Miscellaneous	Unqualified	Improved
00949-00318	1/1/1899	\$0.00	- Unknown	Unqualified	Improved

**Extra Features**

LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	FPMR7	Fireplace Masonry	1	0	0	1.00	\$1,078.00
2	POLR3	Pool	1	0	0	1.00	\$8,160.00

**Land & Legal**

**Land**

LN	Code	Use Description	Zoning	Front	Depth	Category	Land Units	Land Type	Land Value
1	0100	RES LD 3-7 UNITS PER AC	RLD-60	113.00	119.00	Common	113.00	Front Footage	\$161,025.00

**Legal**

LN	Legal Description
1	2-37 28-2S-26E .308
2	EDGEWOOD
3	N 113FT OF E 119FT LOT 3 BLK 6

**Buildings**

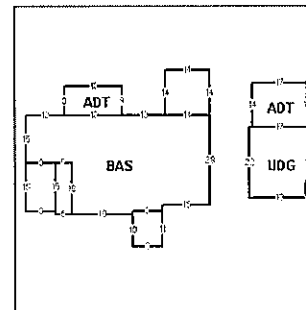
Building 1  
Building 1 Site Address  
1776 CHALLENGE AVE  
Jacksonville FL 32205

Building Type	0108 - SFR CLASS 2
Year Built	1909
Building Value	\$281,111.00

Type	Gross Area	Heated Area	Effective Area
Finished upper story 1	196	196	186
Base Area	196	196	196

Element	Code	Detail
Exterior Wall	15	15 Concrete Blk
Roof Struct	3	3 Gable or Hip
Roofing Cover	8	8 Clay/Berm Tile
Interior Wall	3	3 Plastered
Int Flooring	12	12 Hardwood
Heating Fuel	4	4 Electric
Heating Type	4	4 Forced-Ducted
Air Cond	3	3 Central

Element	Code



Base Area	1489	1489	1489	Stories	2.000
Unfin Open Porch	99	0	20	Bedrooms	3.000
Unfin Det Garage	418	0	209	Baths	2.500
Finished upper story 1	135	135	128	Rooms / Units	1.000
Finished Open Porch	135	0	40		
Finished upper story 1	80	80	76		
Base Area	80	80	80		
Addition	162	162	146		
Addition	238	238	214		
Total	3228	2576	2784		

### 2016 Notice of Proposed Property Taxes Notice (TRIM Notice)

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rolled-back
County	\$107,267.00	\$50,000.00	\$57,267.00	\$630.00	\$655.24	\$624.37
Urban Service Dist1	\$107,267.00	\$50,000.00	\$57,267.00	\$0.00	\$0.00	\$0.00
Public Schools: By State Law	\$107,267.00	\$25,000.00	\$82,267.00	\$364.60	\$348.57	\$355.27
By Local Board	\$107,267.00	\$25,000.00	\$82,267.00	\$179.98	\$184.94	\$175.38
FL Inland Navigation Dist.	\$107,267.00	\$50,000.00	\$57,267.00	\$1.76	\$1.83	\$1.72
Water Mgmt Dist. SJRWMD	\$107,267.00	\$50,000.00	\$57,267.00	\$15.89	\$15.60	\$15.60
Gen Gov Voted	\$107,267.00	\$50,000.00	\$57,267.00	\$0.00	\$0.00	\$0.00
School Board Voted	\$107,267.00	\$25,000.00	\$82,267.00	\$0.00	\$0.00	\$0.00
Urb Ser Dist1 Voted	\$107,267.00	\$50,000.00	\$57,267.00	\$0.00	\$0.00	\$0.00
			Totals	\$1,192.23	\$1,206.18	\$1,172.34
	<b>Just Value</b>	<b>Assessed Value</b>	<b>Exemptions</b>	<b>Taxable Value</b>		
<b>Last Year</b>	\$442,683.00	\$105,061.00	\$50,000.00	\$55,061.00		
<b>Current Year</b>	\$451,374.00	\$107,267.00	\$50,000.00	\$57,267.00		

### 2016 TRIM Property Record Card (PRC)

This PRC reflects property details and values at the time of the original mailing of the Notices of Proposed Property Taxes (TRIM Notices) in August.


### Property Record Card (PRC)

The PRC accessed below reflects property details and values at the time of Tax Roll Certification in October of the year listed.

#### 2016

#### 2015

#### 2014

- To obtain a historic Property Record Card (PRC) from the Property Appraiser's Office, submit your request here: 

### More Information

[Contact Us](#) | [Parcel Tax Record](#) | [GIS Map](#) | [Map this property on Google Maps](#) | [City Fees Record](#)



DESIGNER:  
**PHIL KEAN**  
 ARCHITECTURAL  
 INTERIORS  
 112 S. W. 11th Ave., Suite 212  
 Ft. Lauderdale, FL 33304  
 Tel: 561-536-2525  
 Fax: 561-536-2523  
 DAVID CARPENTER, STATE A.E.  
 P.E. No. 14716

ENGINEER:  
 \_\_\_\_\_

PROJECT:  
**GINGER HARRIS**  
**1776 CHALLEN AVE.**  
**JACKSONVILLE, FLORIDA**

PLAN HISTORY	DATE	DESC.
	05/17/17	Quantity

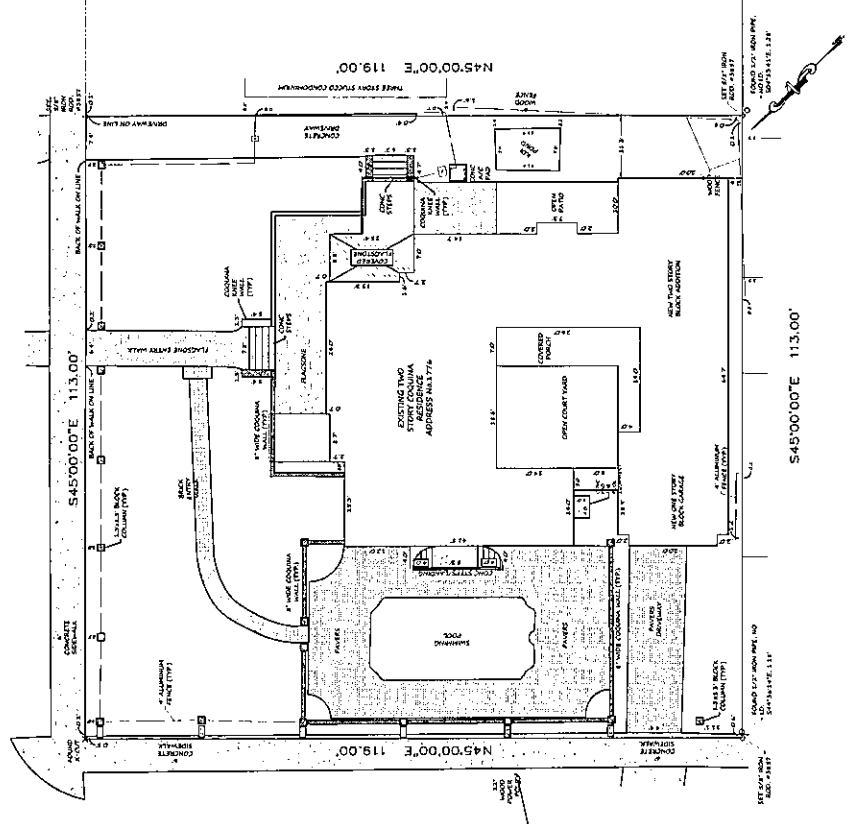
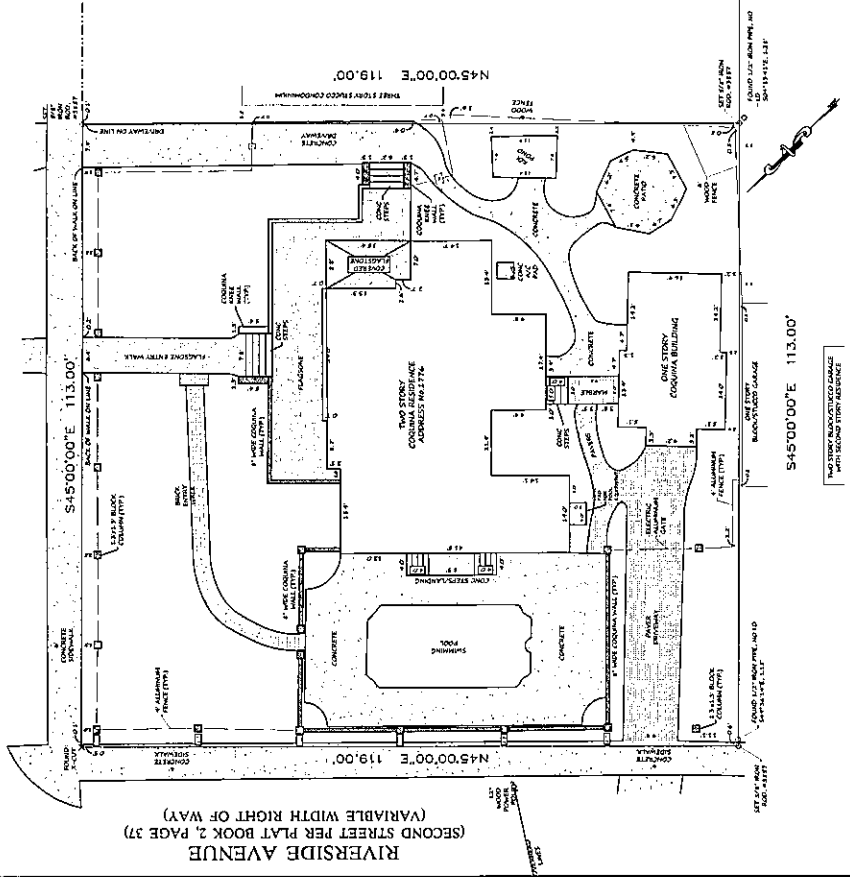
SHEET DATA:  
 DESIGNED BY:  
**PHIL KEAN**  
 DRAWN BY:  
**JOHN CROOK**

SHEET DESC.:

SITE PLANS

SHEET  
**AS3**

**MAP SHOWING BOUNDARY SURVEY OF  
 THE NORTH 113' OF THE EAST 119' OF LOT 3 BLOCK 6  
 AS SHOWN ON MAP OF EDGEWOOD  
 AS RECORDED IN PLAT BOOK 2 PAGE 37 OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLA.**



DESIGNER:

**PK**  
PHIL KEAN  
ARCHITECTURE  
INTERIORS  
112  
4007 W. PALM AVENUE, SUITE 200  
JACKSONVILLE, FLORIDA 32216  
TEL: 904.355.3333  
FAX: 904.355.3333  
WWW.PHILKEANARCHITECTURE.COM

ENGINEER:

PROJECT:

GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY  
DATE | DESC.:  
REV |

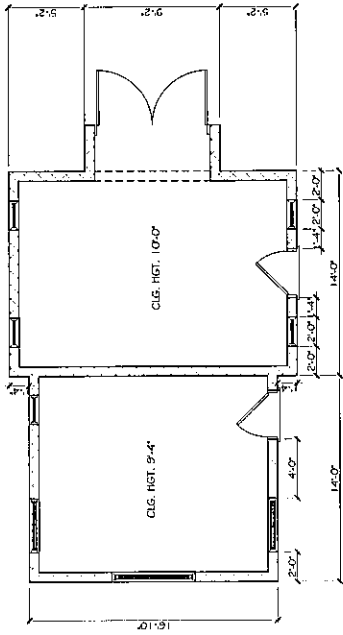
REV	DESC.	DATE

SHEET DATA:  
DESIGNED BY:  
PHIL KEAN  
DRAWN BY:  
JOHN CRONK

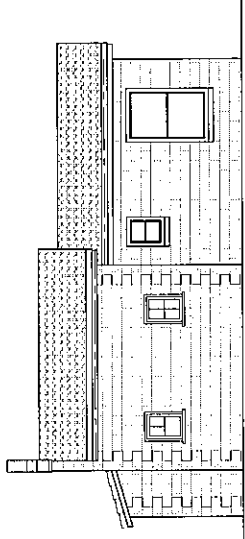
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AS-BUILT FLOOR  
& ELEVATIONS

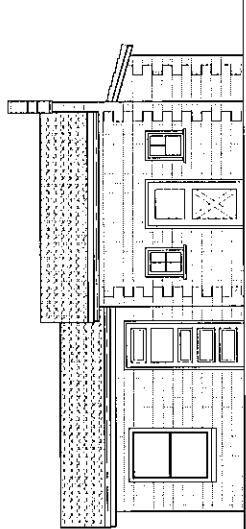
SHEET  
**84**  
ABC



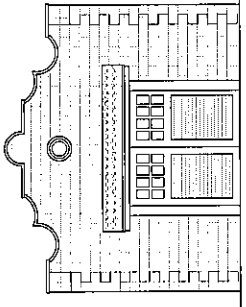
GARAGE / STORAGE FLOOR PLAN  
SCALE: 1/4" = 1'-0"



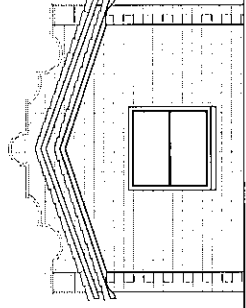
RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

DESIGNER:  
**PK**  
 PHIL KEAN  
 ARCHITECTURE  
 INTERIORS  
 812  
 AVENUE  
 JACKSONVILLE, FLORIDA 32209  
 PHONE: 904.750.3333  
 FAX: 904.750.3333  
 WWW: WWW.PHILKEAN.COM

ENGINEER:

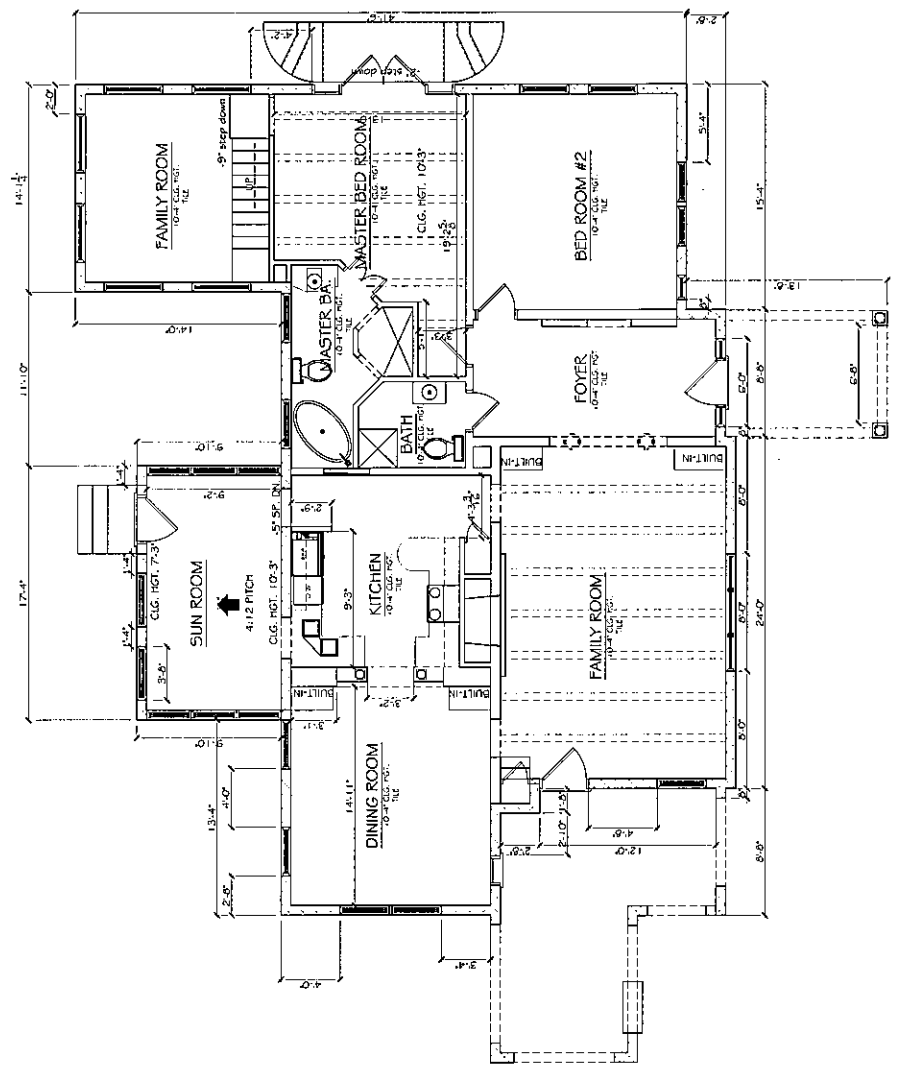
PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY	DATE	DESC.	CONTR.
	9/22/17		CONTR 2

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CROOK

SHEET DESC.:  
 AS-BUILT FLOOR  
 PLAN

SHEET  
**85**  
 AB | 50



AS-BUILT 1st FLOOR PLAN  
 SCALE: 1/4" = 1'-0"





DESIGNER:

**PK**  
PHIL KEAN  
ARCHITECTURE  
INTERIORS  
1111 N. W. 10th Ave, Suite 2120  
Miami, FL 33136  
Tel: 305.378.3913  
Fax: 305.378.3913  
pk@pkinteriors.com  
www.pkinteriors.com

ENGINEER:

PROJECT:

GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY

DATE DESC:

02/17/17 CONCEPT

SHEET DATA:

DESIGNED BY:

PHIL KEAN

DRAWN BY:

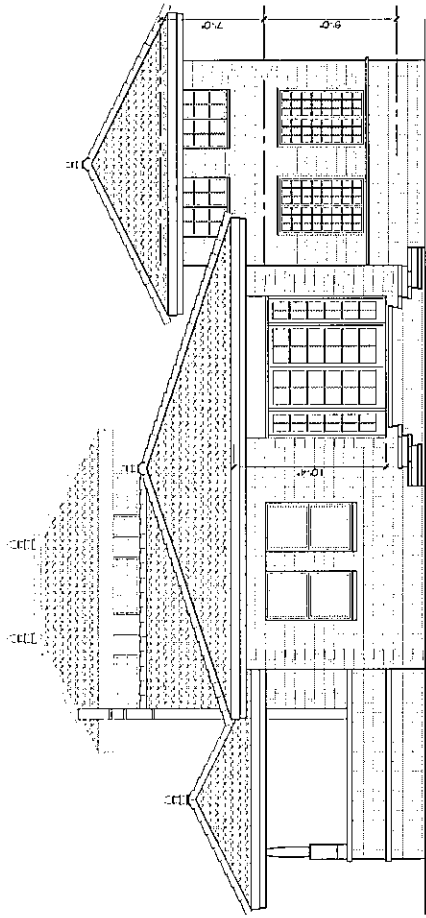
JOHN CROOK

SHEET DESC.:

AS-BUILT  
ELEVATIONS

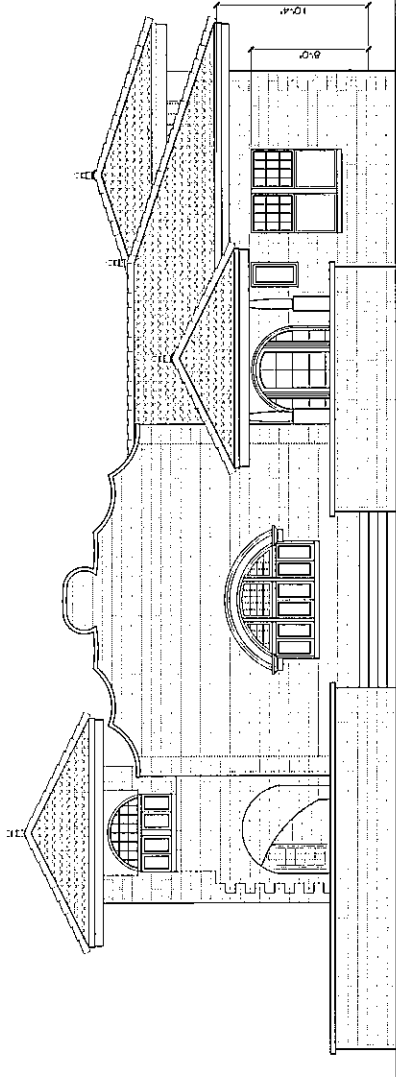
SHEET

83.9



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

DESIGNER:

**PK**  
PHIL KEAN  
ARCHITECTURE  
INTERIORS  
1275 W. 10TH AVE.  
SUITE 100  
JACKSONVILLE, FLORIDA 32209  
PHONE: 904-725-3229  
FAX: 904-725-3223  
WWW.PHILKEANARCHITECTURE.COM

ENGINEER:

PROJECT:

GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY

DATE: DESC.:  
REV: 1: 000001

DATE: DESC.:  
REV: 2: 000002

SHEET DATA:

DESIGNED BY:  
PHIL KEAN

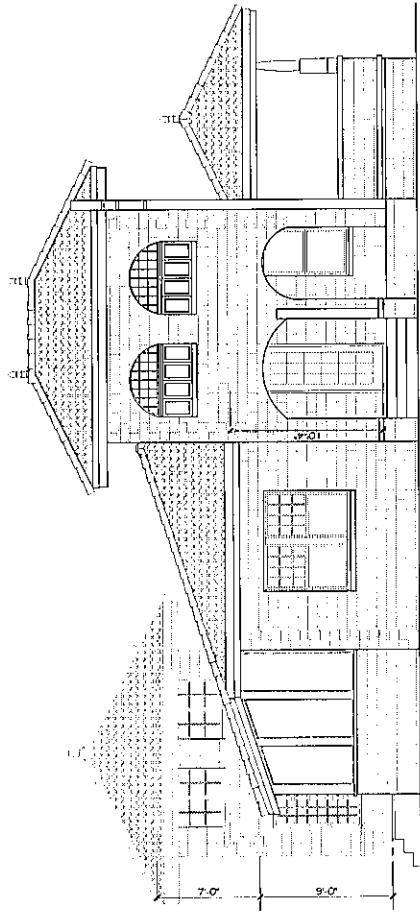
DRAWN BY:  
JOHN CRONIK

SHEET DESC.:

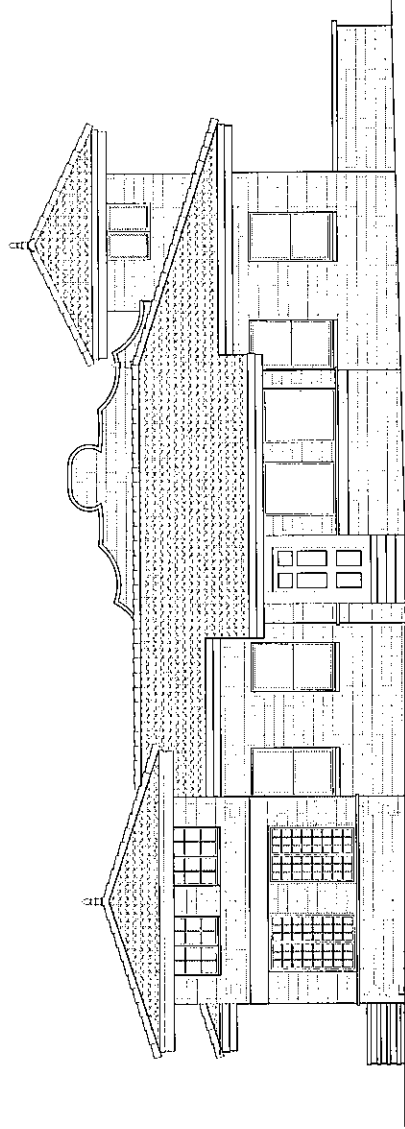
AS-BUILT  
ELEVATIONS

SHEET

AB300



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

DESIGNER:



ENGINEER:

PROJECT:

GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY

DATE | DESC. |

08-17-17 | 000001 |

08-17-17 | 000002 |

08-17-17 | 000003 |

08-17-17 | 000004 |

08-17-17 | 000005 |

08-17-17 | 000006 |

08-17-17 | 000007 |

08-17-17 | 000008 |

08-17-17 | 000009 |

08-17-17 | 000010 |

08-17-17 | 000011 |

08-17-17 | 000012 |

08-17-17 | 000013 |

08-17-17 | 000014 |

08-17-17 | 000015 |

08-17-17 | 000016 |

08-17-17 | 000017 |

08-17-17 | 000018 |

08-17-17 | 000019 |

08-17-17 | 000020 |

SHEET DATA:

DESIGNED BY:

PHIL KEAN

DRAWN BY:

JOHN CRONK

SHEET DESC.:

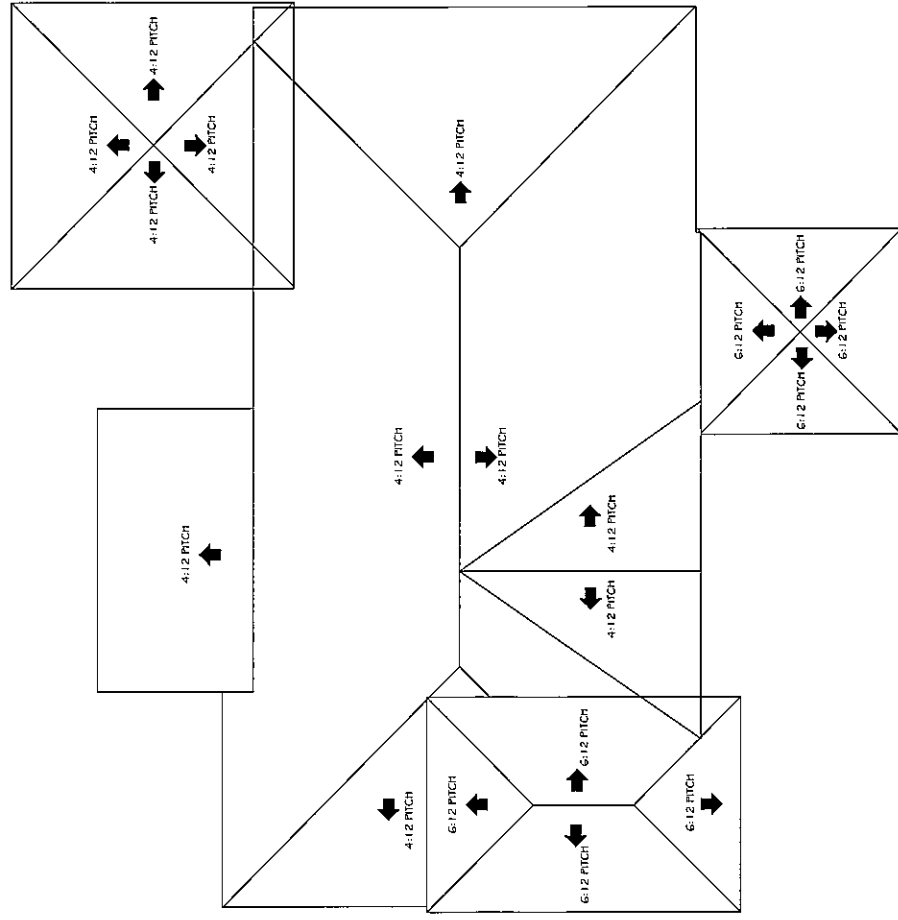
AS-BUILT ROOF

PLAN

SHEET

89

AB4



AS-BUILT ROOF PLAN

SCALE: 1/4" = 1'-0"

DESIGNER:



ENGINEER:

PROJECT:

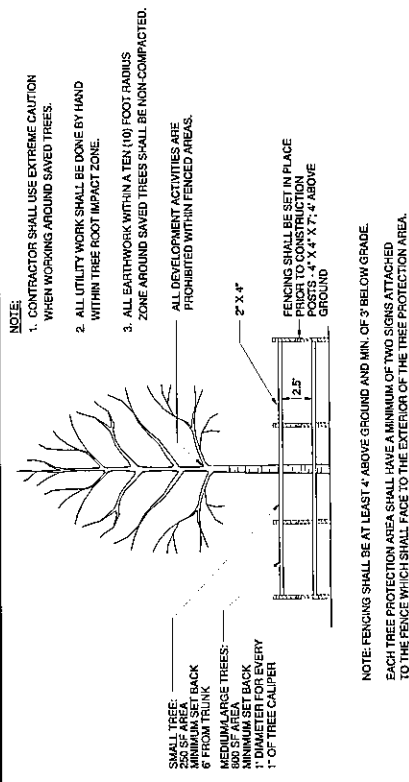
GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY	DATE	DESC.

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN DROOK

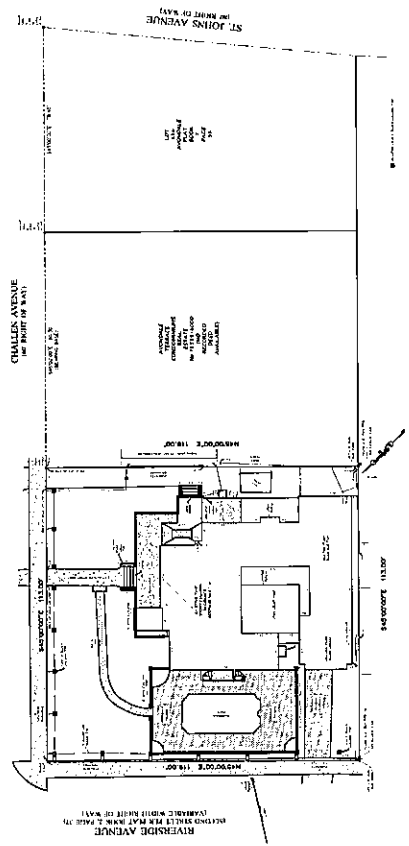
SHEET DESC.:  
 NEW SITE PLAN

SHEET  
 90  
 NS



**TREE PROTECTION DETAIL**

N.T.S.  
 MAP SHOWING BOUNDARY SURVEY OF  
 THE NORTH 119 OF THE EAST 119 OF LOT 3 BLOCK 6  
 AS SHOWN ON MAP OF EDGEWOOD  
 AS ATTACHED TO THE RECORD PLAT, TOWN OF BELL, DEWEE, FLA.  
 REFERRED TO UNDER HAWKS



**PROPOSED SITE PLAN**  
 SCALE: N.T.S.

DESIGNER:  
**PK**  
**PHIL KEAN**  
 ARCHITECTURE  
 INTERIORS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA 32218  
 PHONE: 904.739.3333  
 FAX: 904.739.3333  
 WWW.PHILKEANARCHITECTURE.COM

ENGINEER:  
 DATE: 7/21/17

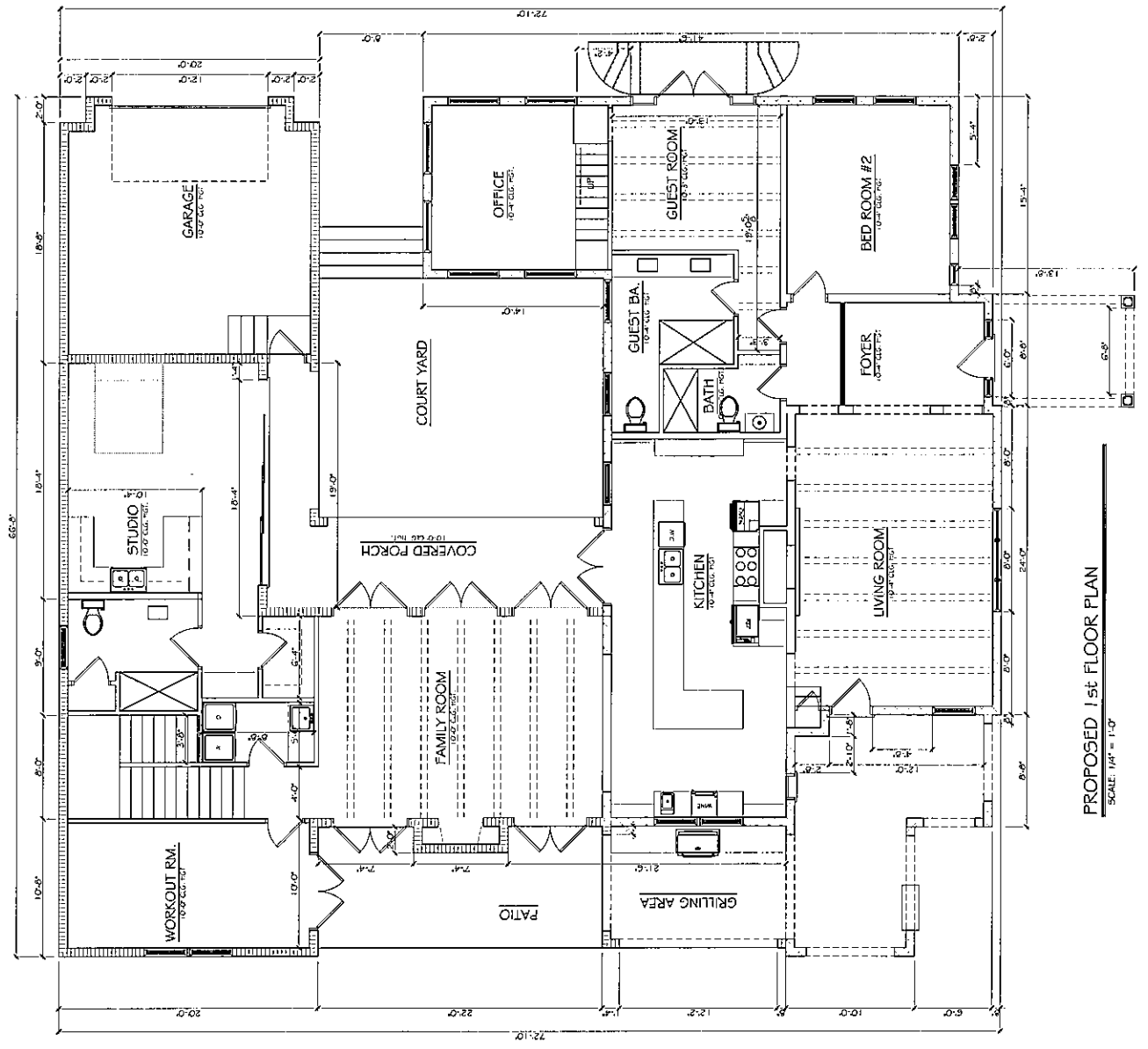
PROJECT:  
**GINGER HARRIS**  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY  
 DATE | DESC. |  
 07-21-17 | CONCEPT

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CROOK

SHEET DESC.:  
 NEW 1st  
 FLOOR PLAN  
 DIMENSIONED

SHEET  
**91**  
 1.



PROPOSED 1st FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

DESIGNER:  

**PHIL KEAN**  
 ARCHITECT  
 1025 S. W. 10TH AVE.  
 MIAMI, FL 33135  
 TEL: 305.375.3333  
 FAX: 305.375.3333  
 WWW.PHILKEANARCHITECT.COM

ENGINEER:  
 \_\_\_\_\_

PROJECT:  
**GINGER HARRIS**  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY  
 DATE: \_\_\_\_\_  
 DESC: \_\_\_\_\_

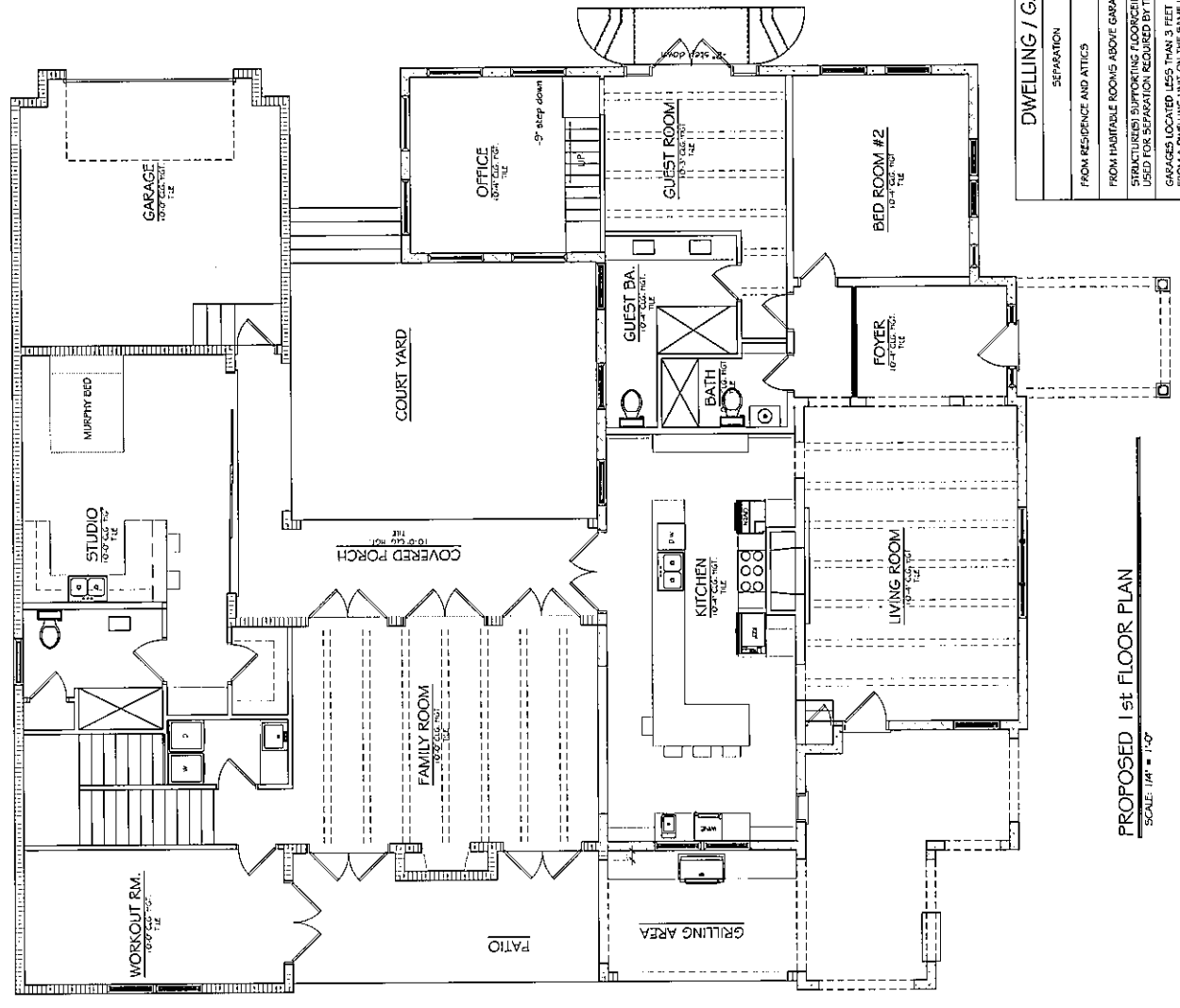
SHEET DATA:  
 DESIGNED BY: PHIL KEAN  
 DRAWN BY: JOHN CRONK

SHEET DESC.:  
 MAIN LEVEL  
 FLOOR PLAN  
 NOTED

SHEET  
 92

**PLAN NOTES:**

1. SPACING BETWEEN THE GARAGE AND RESIDENCE SHALL BE 20 MIN. PRE RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1 AND 1/2 INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR. DOOR SHALL BE EQUIPPED WITH AUTOMATIC CLOSER.
2. PROVIDE 2X BLOCKING AT MIDPOINT ON ALL INTERIOR STUD WALLS.



**WALL LEGEND**

[Symbol]	EXISTING CMU BLOCK WALL
[Symbol]	NEW CMU BLOCK WALL
[Symbol]	EXISTING 2X INTERIOR WALL
[Symbol]	NEW 2X INTERIOR WALL

**MAIN LEVEL**

AC-1st FLOOR	2999
AC-2nd FLOOR	945
W/C MASTER	195
STORAGE	149
COVER PORCH:	233
OUT DOOR LIVING:	292
TOTAL UNDER ROOF:	4903

**DWELLING / GARAGE SEPARATION** (TABLE R302.6)

SEPARATION	MATERIAL
FROM RESIDENCE AND ATTICS	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN 1/2 INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURAL SUPPORTING FLOORING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT
FOR USES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.

**PROPOSED 1st FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

DESIGNER:  
**PK**  
**PHIL KEAN**  
 ARCHITECTURE  
 INTERIORS  
 5 W. 1st St., Pompano Beach, FL 33062  
 Tel: 954.781.2250  
 Fax: 954.781.2253  
 10-10 CROSSLAND DRIVE, SUITE 100  
 DATE: 1/11/10

ENGINEER:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

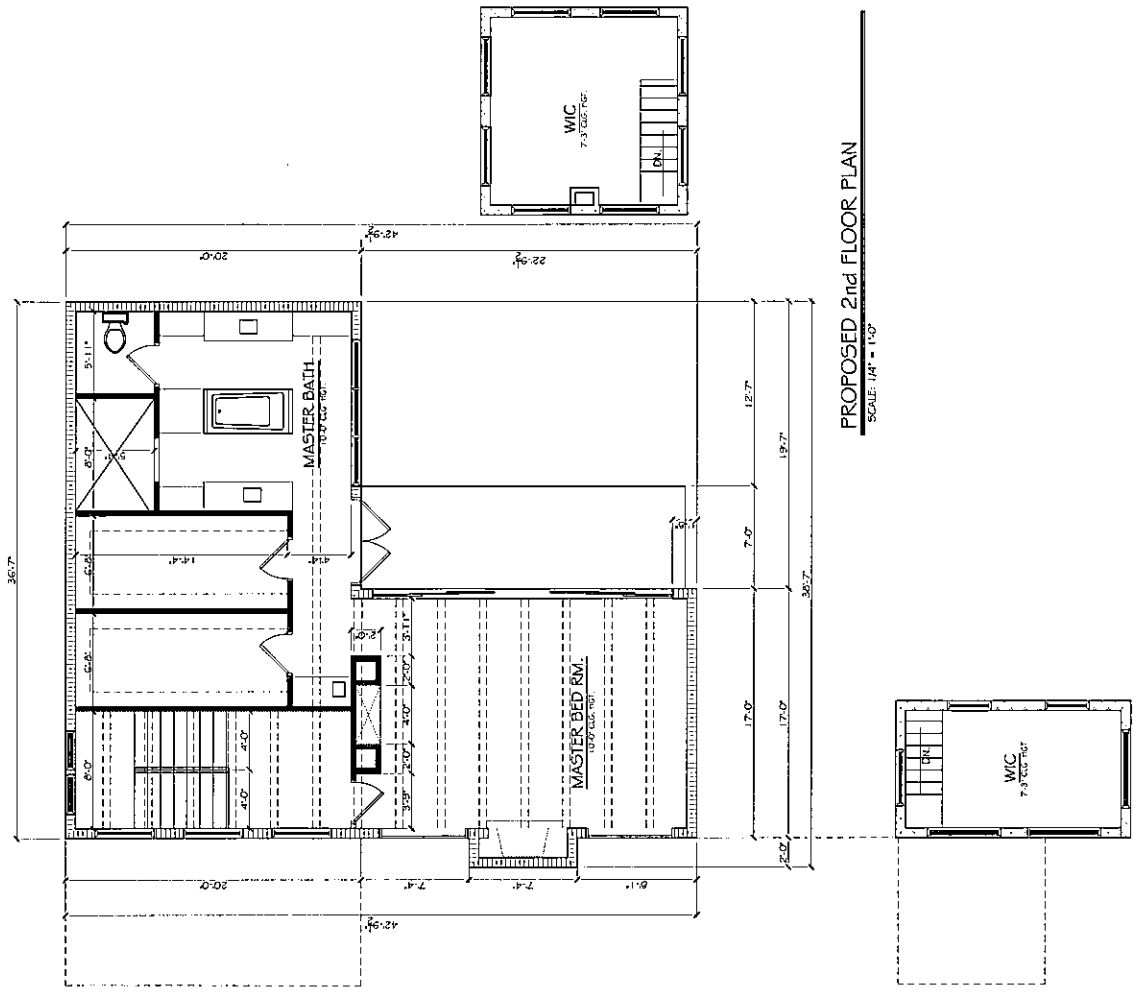
PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY	DATE	DESC.
	09-17-10	CONCEPT

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CRONK

SHEET DESC.:  
 2nd  
 FLOOR PLAN  
 DIMENSIONED

SHEET  
**93**  
**2.03**



DESIGNER:  

**PHIL KEAN**  
 ARCHITECTURE  
 CONTRACTORS  
 1122 S. W. 10th Ave.  
 Ft. Lauderdale, FL 33309  
 Tel: 954-575-1234  
 Fax: 954-575-1235

ENGINEER:  
 \_\_\_\_\_  
 \_\_\_\_\_

PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY  
 DATE / DESC.:  
 07/17/17 / CONCEPT

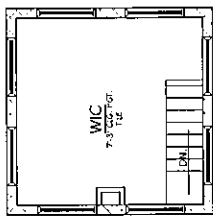
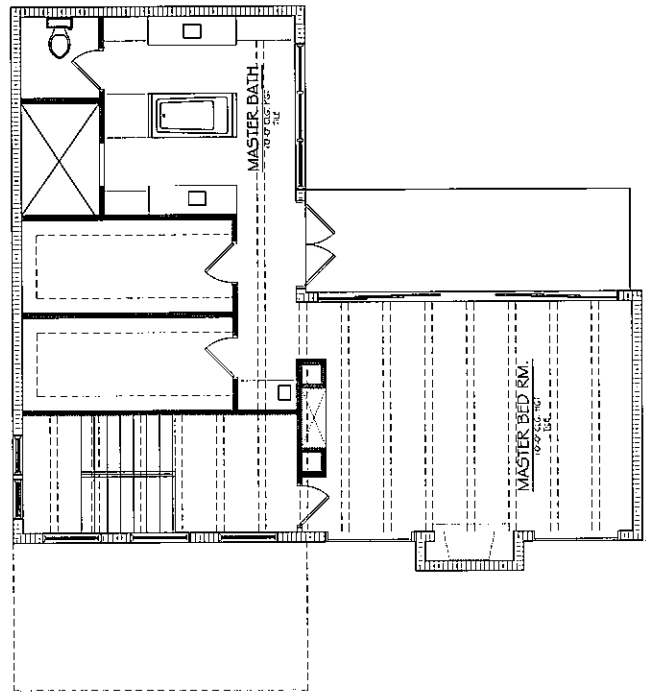
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 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CRONK

SHEET DESC.:  
 MAIN LEVEL  
 FLOOR PLAN  
 NOTED

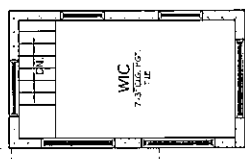
SHEET  
 94

**PLAN NOTES:**

- SPRINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A 20 MIN. RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1" AND 3/4" INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR. DOOR SHALL BE EQUIPPED WITH AUTOMATIC CLOSER.
- PROVIDE 2X BLOCKING AT MIDPOINT ON ALL INTERIOR STUD WALLS.



PROPOSED 2nd FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



**WALL LEGEND**

	EXISTING CMU BLOCK WALL
	NEW CMU BLOCK WALL
	EXISTING 2X INTERIOR WALL
	NEW 2X INTERIOR WALL

**MAIN LEVEL**

AC: 1st FLOOR	2899
AC: 2nd FLOOR	595
WIC MASTER	195
STORAGE	149
COVER PORCH	233
OUTDOOR TERRACE	232
TOTAL UNDER ROOF:	4903

**DWELLING / GARAGE SEPARATION** (TABLE R302.6)

SEPARATION	MATERIAL
FROM RESIDENCE AND ATTICS	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN 1/2 INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURES/SUPPORTING FLOORING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.



DESIGNER:

**PK**  
PHIL KEAN  
ARCHITECTURE  
INTERIORS  
1111 N. WINDY HILL RD.  
JACKSONVILLE, FL 32209  
TEL: 904.733.3320  
FAX: 904.733.3323  
DANIEL CHRISTENSEN, AIA  
301 N. WINDY HILL RD.  
JACKSONVILLE, FL 32209

ENGINEER:

PROJECT:

GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY

DATE DESC.:

08/11/17	COORDINATED

SHEET DATA:

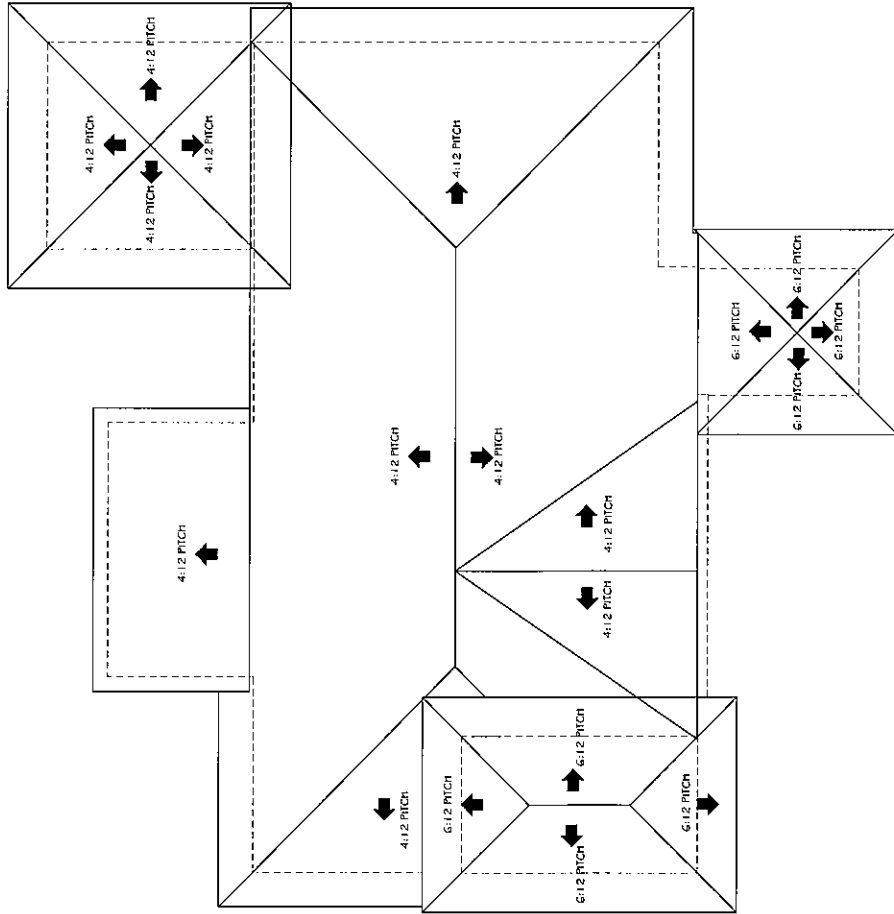
DESIGNED BY:  
PHIL KEAN  
DRAWN BY:  
JOHN CROOK

SHEET DESC.:

UPPER LEVEL  
FLOOR PLAN  
NOTED

SHEET

95  
3.



AS-BUILT ROOF PLAN

SCALE: 1/4" = 1'-0"

DESIGNER:  
**PK**  
 PHIL KEAN  
 ARCHITECTURE  
 INTERIORS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA 32209  
 TEL: 904.251.2200  
 FAX: 904.251.2203  
 WWW.PHILKEANARCHITECTURE.COM

ENGINEER:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

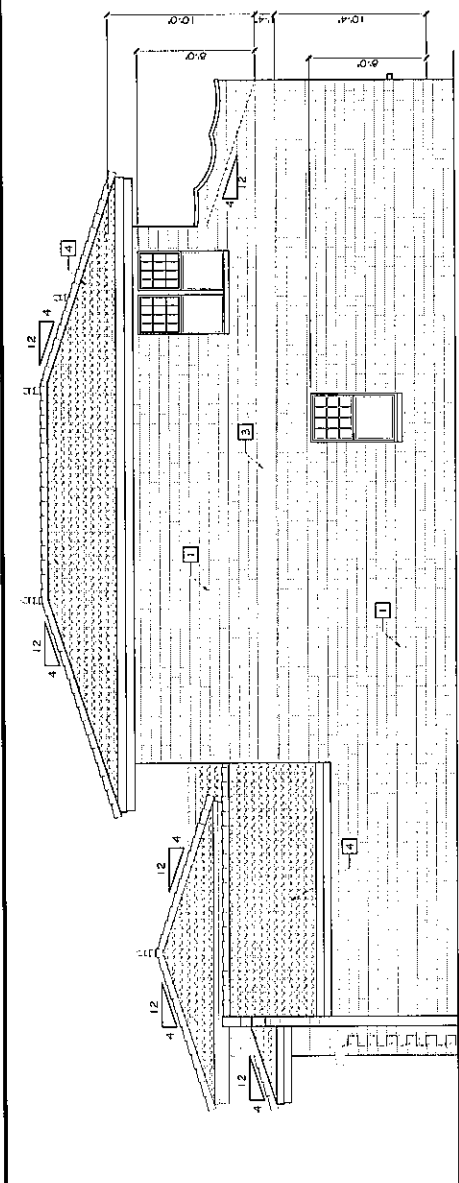
PLAN HISTORY	DATE	DESC.
	08.17.17	CONCEPT

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CROOK

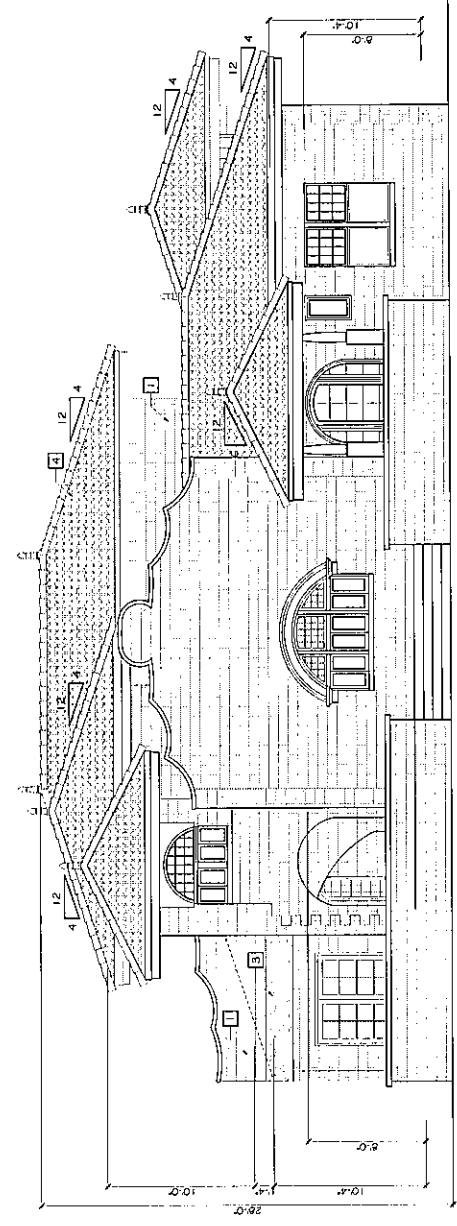
SHEET DESC.:  
 NEW FRONT AND  
 REAR ELEVATIONS

SHEET  
 4.96

- ELEVATION NOTES:
- | DESCRIPTION   |
|---|
| 1. CMU BLOCK  |
| 2. SPURT FACE CMU BLOCK                                       |
| 3. POURED THE BEAM.   |
| 4. THE ROOF OVER APPROVED WATER BARRIER, OVER ROOF STRUTTING. |
| 5. ALUMINUM RAILING   |



PROPOSED REAR ELEVATION  
 SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"

NOTE: ALL NEW CMU BLOCK TO MATCH THE EXISTING CMU BLOCK AS CLOSE AS POSSIBLE. ALL NEW WINDOWS TO BE TRUE UTE AND TO MATCH THE EXISTING AS MUCH AS POSSIBLE. ALL CAST FOOTINGS TO MATCH THE EXISTING AS CLOSE AS POSSIBLE.

DESIGNER:  
**PK**  
 PHIL KEAN  
 ARCHITECTURE  
 INTERIORS  
 1100 N. W. 12TH ST.  
 SUITE 100  
 MIAMI, FL 33136  
 TEL: 305.576.3333  
 FAX: 305.576.3333  
 WWW.PHILKEAN.COM

ENGINEER:  
 \_\_\_\_\_

PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

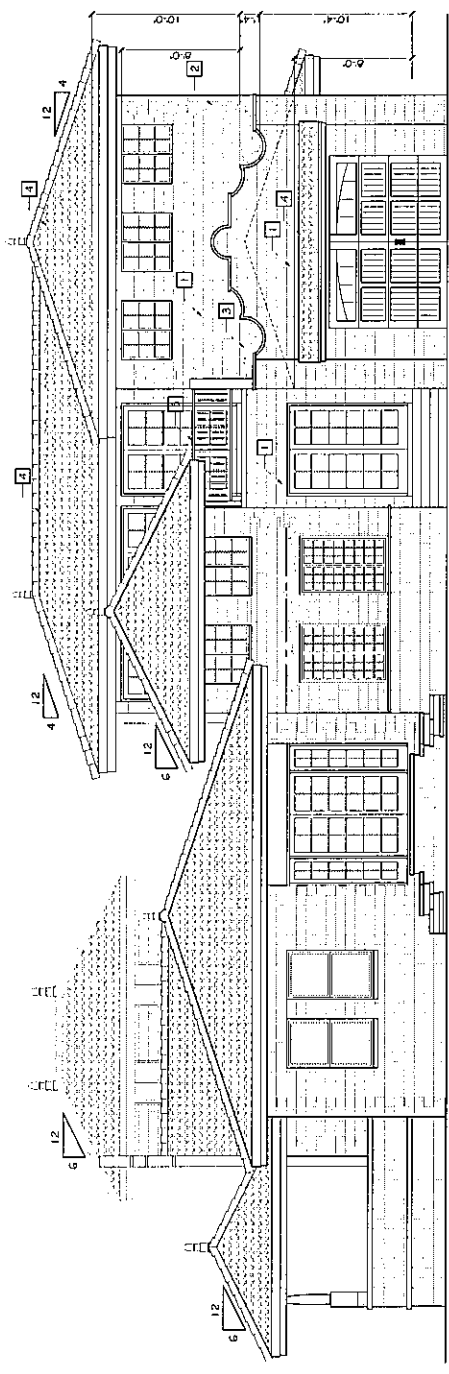
PLAN HISTORY  
 DATE | DESC. | DRAWN BY  
 01-27-17 | 0000017 |

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CROWK

SHEET DESC.:  
 NEW LEFT AND  
 RIGHT ELEVATIONS

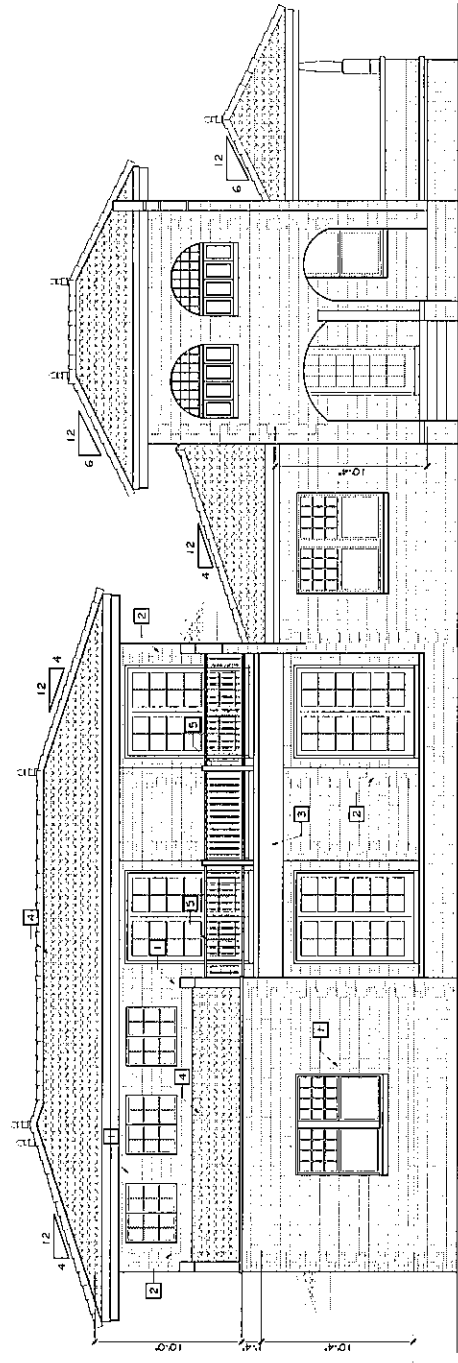
SHEET  
 4.  
 76

- ELEVATION NOTES:**
- | DESCRIPTION  |
|--|
| 1. CMU BLOCK   |
| 2. SPIRIT FACE CMU BLOCK                                       |
| 3. POURED IN SPAN.   |
| 4. RUB ROOF, OVER APPROVED WATER BARRIER, OVER ROOF SHEATHING. |
| 5. ALUMIN RAILING  |



**PROPOSED RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

NOTE: ALL NEW CMU BLOCK TO MATCH THE EXISTING CMU BLOCK AS CLOSE AS POSSIBLE. ALL NEW CONSTRUCTION SHALL MATCH THE EXISTING AS MUCH AS POSSIBLE. ALL CAST TREATMENTS TO MATCH THE EXISTING AS CLOSE AS POSSIBLE.



**PROPOSED LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"

NOTE: ALL NEW CMU BLOCK TO MATCH THE EXISTING CMU BLOCK AS CLOSE AS POSSIBLE. ALL NEW CONSTRUCTION SHALL MATCH THE EXISTING AS MUCH AS POSSIBLE. ALL CAST TREATMENTS TO MATCH THE EXISTING AS CLOSE AS POSSIBLE.

DESIGNER:  
**PK**  
**PHIL KEAN**  
 ARCHITECTURE  
 INTERIORS  
 11776 CHALLEN AVE.  
 JACKSONVILLE, FL 32219  
 TEL: 904.750.3279  
 FAX: 904.750.3283  
 P.O. BOX 100000  
 JACKSONVILLE, FL 32210  
 WWW.PHILKEAN.COM

ENGINEER:  
 \_\_\_\_\_

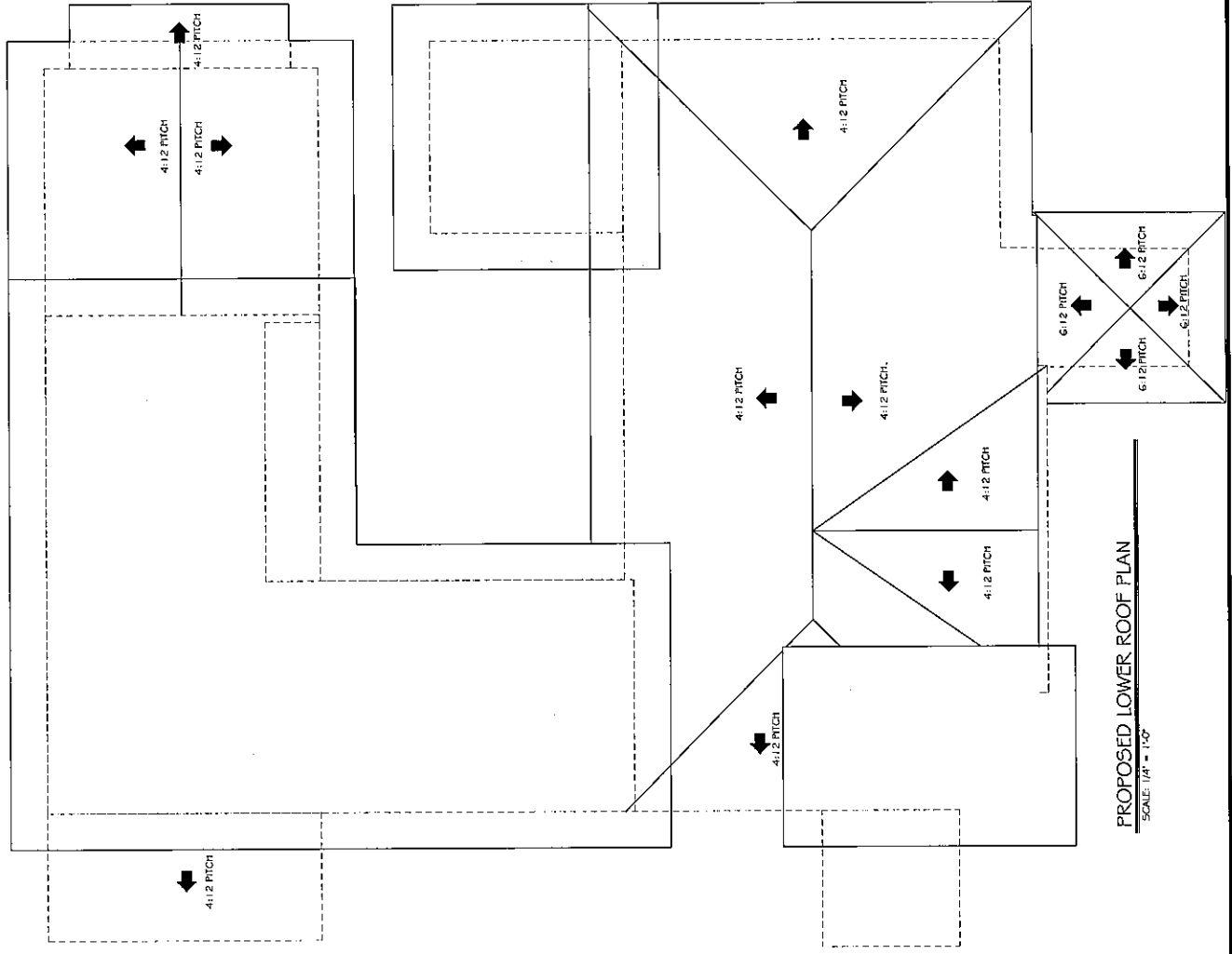
PROJECT:  
**GINGER HARRIS**  
**1776 CHALLEN AVE.**  
**JACKSONVILLE, FLORIDA**

PLAN HISTORY	DATE	DESC.

SHEET DATA:  
 DESIGNED BY:  
**PHIL KEAN**  
 DRAWN BY:  
**JOHN CRONK**

SHEET DESC.:  
**LOWER ROOF PLAN**

SHEET  
**5.08**



**PROPOSED LOWER ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

DESIGNER:

**PK**  
PHIL KEAN  
ARCHITECTURE  
INTERIORS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA 32209  
TEL: 904.759.3279  
FAX: 904.759.3273  
DAN C. CHAPMAN, LICENSE # 14400  
DIE: 11/11/11  
WWW.PHILKEAN.COM

ENGINEER:

PROJECT:

GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY:

DATE	DESC:
08.11.17	CONCEPT

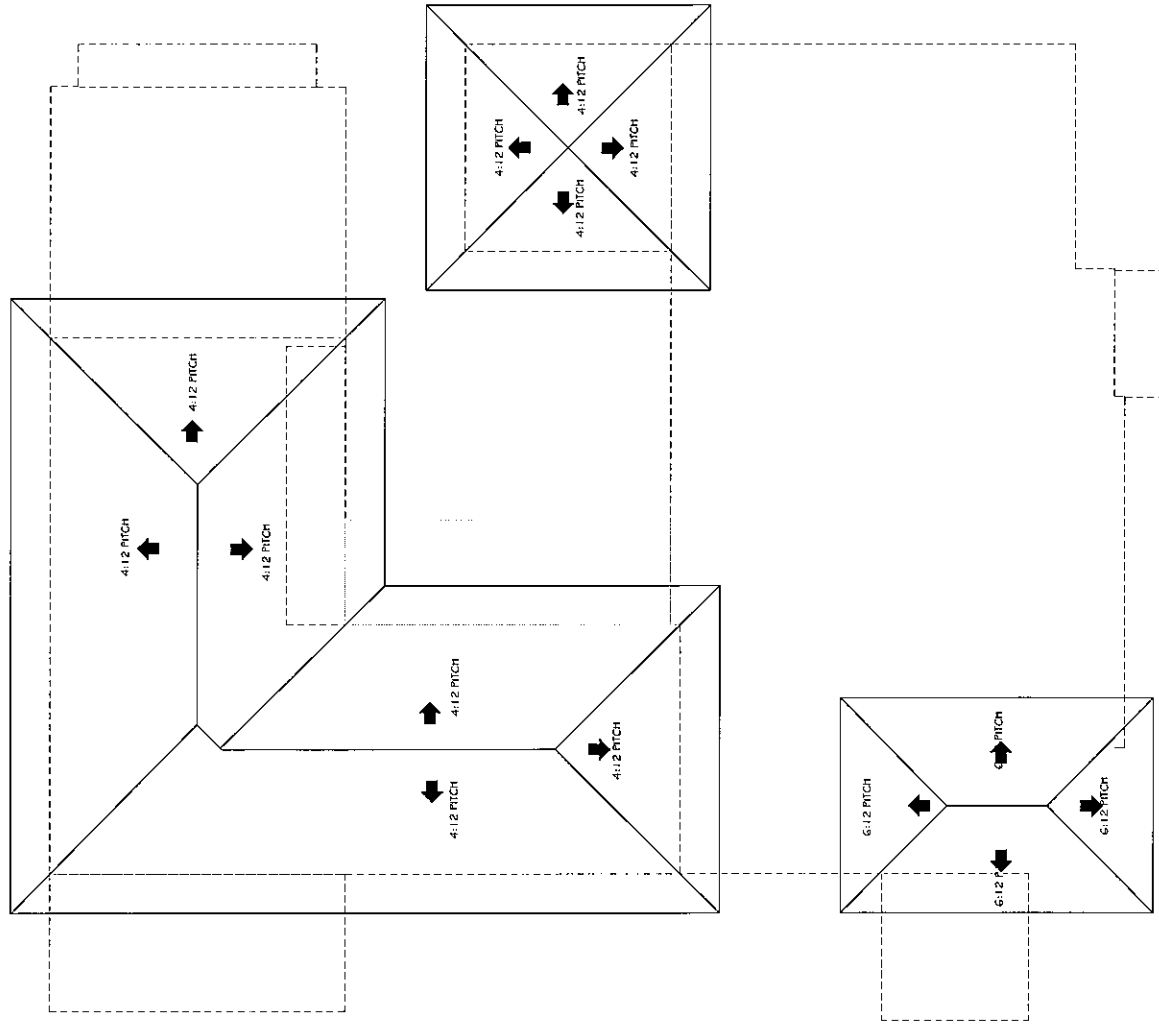
SHEET DATA:

DESIGNED BY:  
PHIL KEAN  
DRAWN BY:  
JOHN CRONK

SHEET DESC:

UPPER  
ROOF PLAN  
SHEET

5. 99



PROPOSED UPPER ROOF PLAN  
SCALE: 1/4" = 1'-0"

DESIGNER:

**PK**  
PHIL KEAN  
CONSULTING  
ENGINEER  
1776 CHALLEN AVE.  
JACKSONVILLE, FL 32218  
TEL: 321-550-3533  
FAX: 321-550-3533  
PH: 321-550-3533  
WWW.PHILKEAN.COM

ENGINEER:

PROJECT:

GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY  
DATE | DESC.:  
09-17-11 | CONCEPT

SHEET DATA:  
DESIGNED BY:  
PHIL KEAN  
DRAWN BY:  
JOHN CRONK

SHEET DESC.:

SITE PHOTOS

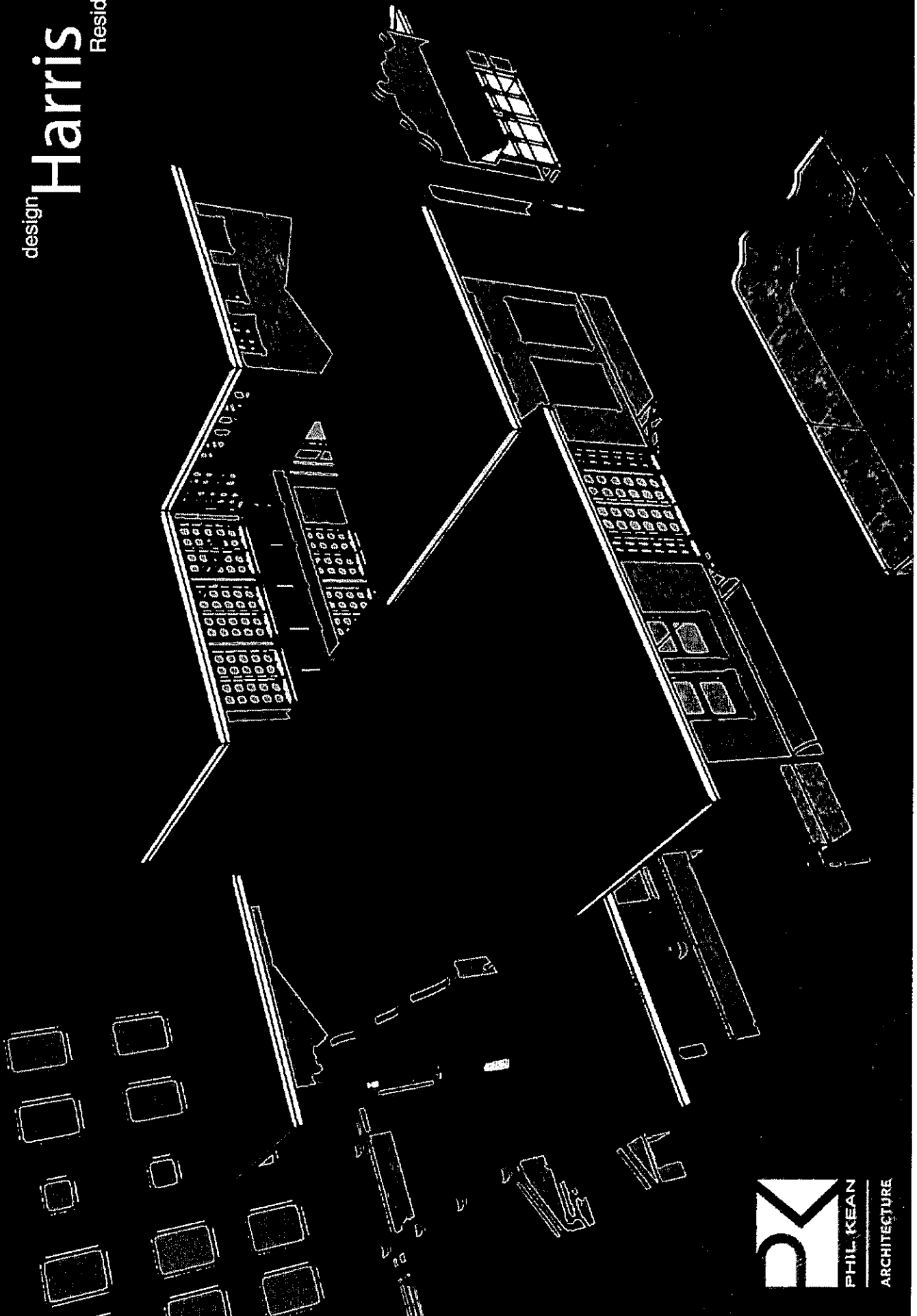
SHEET **100**  
P



EXISTING SITE PHOTOS



design **Harris**  
Residence



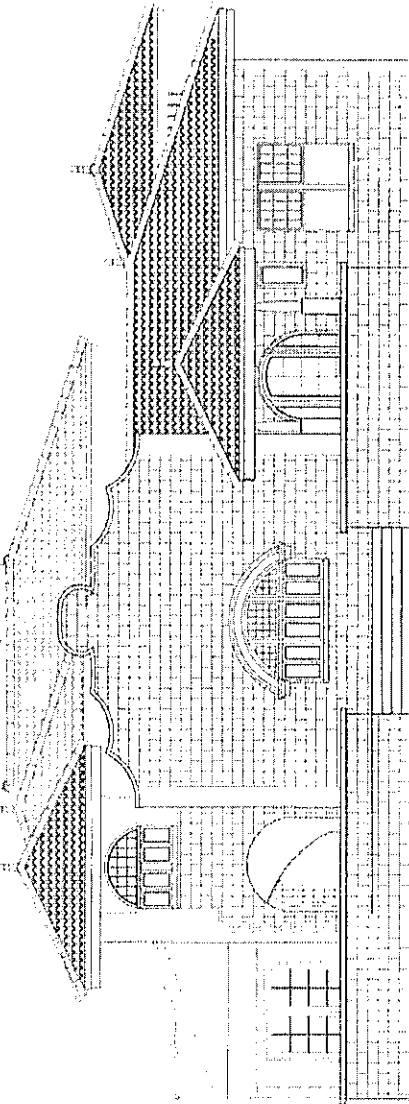
Staff report was not revised as the changes to the plans were not substantial enough to warrant a change in the staff recommendation. The next couple pages are the revised plans for November.





Application Number
<b>COA-17-797</b>
Address
<b>1776 Challen Avenue</b>
Request
<b>Construct a new two-story addition</b>
Contributing Status & District, or Landmark Status
<b>Contributing to the Riverside/Avondale Historic District and a Local Landmark</b>
Summary
<p>The applicant has provided revised plans for the addition after the August 2017 meeting. The major concerns of staff for the original plans were:</p> <ul style="list-style-type: none"><li>*the addition is much taller than the front parapet wall which is a character defining feature.</li><li>*the visibility of the two-story addition at the corner of Challen and Riverside</li><li>*the scale of the addition combined with the height confirms the addition is not subordinate to the main house and conflicts with the Secretary of the Interior's Standards for Rehabilitation and Riverside-Avondale Design Regulations</li></ul> <p>Revisions for November:</p> <ul style="list-style-type: none"><li>*the applicant reduced the addition from 28 feet to 26 feet in height-still a two-story addition</li><li>*the applicant pushed the new addition in from the rear property line so the eave is not on the property line.</li></ul> <p>The reduction of two feet from the addition is not enough to warrant a change in staff's original recommendation as the addition is still a two-story addition attached to a one-story landmark house.</p>
Staff Recommendation
<b>Deny</b>
Proposed Conditions (if any)
N/A

# A SINGLE FAMILY RESIDENCE



1776 Challen Ave  
 ImperVIOUS CALCULATIONS:

Zoning: 2-Story  
 Construction: 35  
 MAX. Building Height: 14,237 SF

IMPERVIOUS CALCULATIONS:  
 Let Size:

1st Floor	14,237 SF
2nd Floor	2,992 SF
Garage	432
Covered Out Door Area	228
Entry	96
Open Patio	325
Driveway, Pool Deck 3,580 s.f. &	328
Entry Walkway	926
AC/Generator Pads	27
<b>TOTAL</b>	<b>5,257 SF</b>
ImperVIOUS Allowed:	7,119 SF
ImperVIOUS Provided:	5,257 SF
ImperVIOUS Differential:	(1,862) SF
	OR
	OR
	OR
	50.00%
	36.82%
	-13.08%

## NOTES

BASED ON THE FLORIDA RESIDENTIAL BUILDING CODE 2014

TO THE BEST OF THE ARCHITECT'S INTERPRETATION, THESE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED AS A COMPLETE SET OF CONTRACT DOCUMENTS FOR THE PROJECT. ANY CHANGES TO THESE DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY A CORRECTIVE ACTION SHEET, A CHANGE ORDER, OR AN ADDENDUM AS APPROVED BY THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS.

### CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS.

### ROOF COVERINGS

1. ALL ROOF COVERINGS SHALL BE NOTED ON PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS.

### WINDOWS AND DOORS

1. ALL WINDOWS AND DOORS SHALL BE NOTED ON PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS.

### STAIR AND RAILING NOTES

1. ALL STAIRS AND RAILINGS SHALL BE NOTED ON PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS.

### MEANS OF EGRESS

1. ALL MEANS OF EGRESS SHALL BE NOTED ON PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS.

### MECHANICAL AND HVAC

1. ALL MECHANICAL AND HVAC SHALL BE NOTED ON PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ADOPTED AS AN AMENDMENT TO THESE DRAWINGS AND SPECIFICATIONS.

## GENERAL

1. STRUCTURE IS SUBJECT TO FIELD VERIFICATION AND CHANGES AND CHANGES THAT ARE DEEMED NECESSARY ARE TO BE REPORTED TO THE ARCHITECT BEFORE WORKING BEGINS. ANY AND ALL CHANGES SHALL BE APPROVED BY THE ARCHITECT BEFORE WORKING BEGINS. ANY AND ALL CHANGES SHALL BE APPROVED BY THE ARCHITECT BEFORE WORKING BEGINS.

## TERMINOLOGY

1. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT BEFORE WORKING BEGINS. ANY AND ALL CHANGES SHALL BE APPROVED BY THE ARCHITECT BEFORE WORKING BEGINS. ANY AND ALL CHANGES SHALL BE APPROVED BY THE ARCHITECT BEFORE WORKING BEGINS.

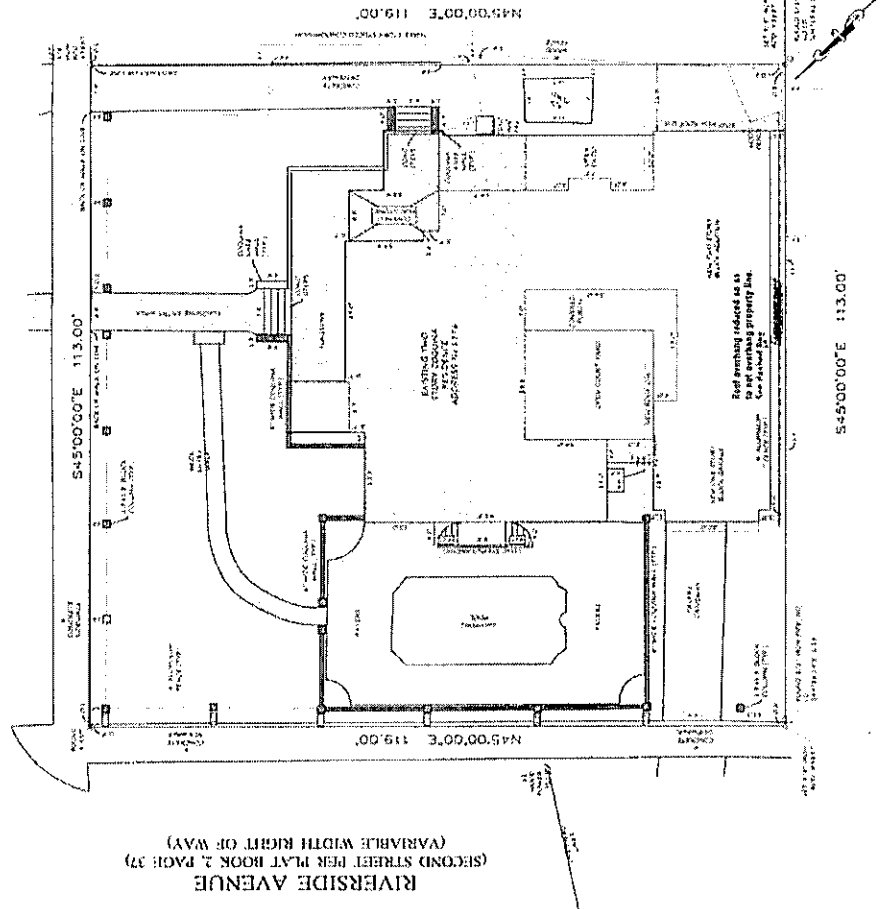
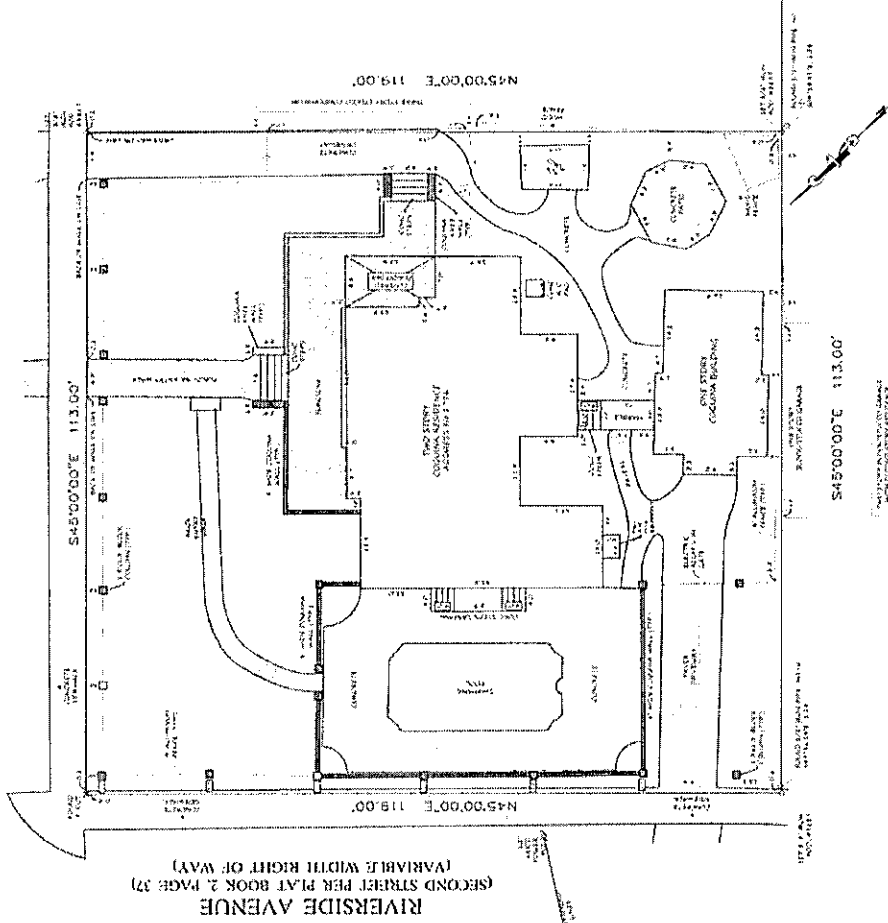
## STUCCO

1. ALL STUCCO SHALL BE APPROVED BY THE ARCHITECT BEFORE WORKING BEGINS. ANY AND ALL CHANGES SHALL BE APPROVED BY THE ARCHITECT BEFORE WORKING BEGINS. ANY AND ALL CHANGES SHALL BE APPROVED BY THE ARCHITECT BEFORE WORKING BEGINS.

## INDEX

GENERAL	GENERAL
ARCHITECTURAL	ARCHITECTURAL
ENGINEERING	ENGINEERING

MAP SHOWING BOUNDARY SURVEY OF  
 THE NORTH 113' OF THE EAST 119' OF LOT 3 BLOCK 6  
 AS SHOWN ON MAP OF EDGEWOOD  
 AS RECORDED IN PLAT BOOK 2 PAGE 37 OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLA.

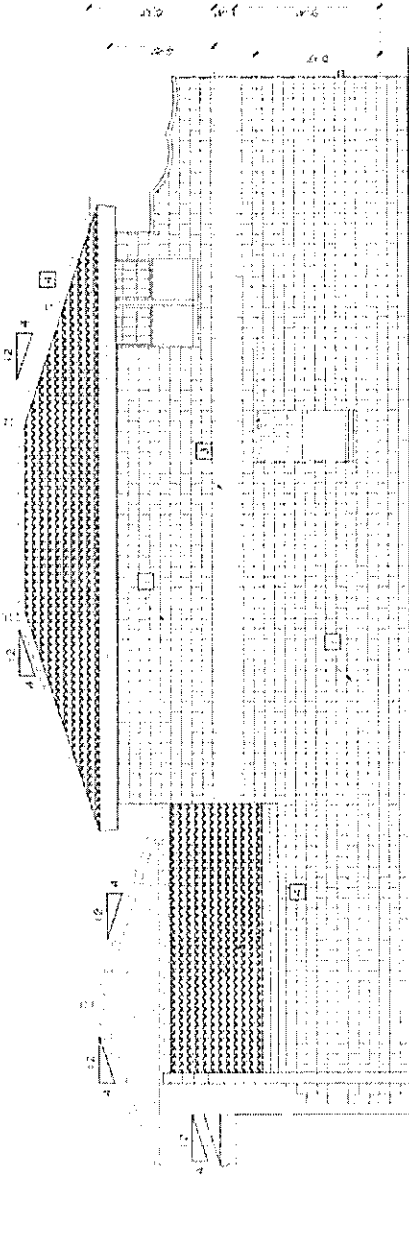


RIVERSIDE AVENUE  
 (SECOND STREET PER PLAT BOOK 2, PAGE 37)  
 (VARIABLE WIDTH RIGHT OF WAY)

RIVERSIDE AVENUE  
 (SECOND STREET PER PLAT BOOK 2, PAGE 37)  
 (VARIABLE WIDTH RIGHT OF WAY)

**ELEVATION NOTES:**

1. OVER BLOCK
2. SPUR FACE OVER BLOCK
3. POWDER TO BEAM
4. 1/2" BUCK CHIPS APPROX TO WATER DAMPER, COVER ROOF EXISTING
5. ALUMINUM RAILING

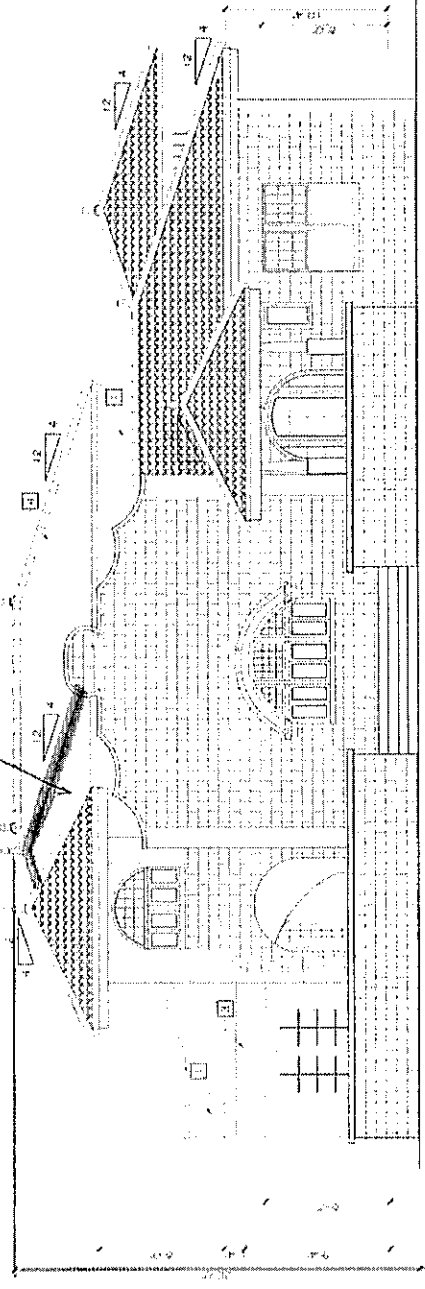


**PROPOSED REAR ELEVATION**

SCALE: 1/8" = 1'-0"  
 NOTE: ALL NEW WORK SHALL MATCH THE EXISTING  
 EXTERIOR FINISHES AS FAR AS POSSIBLE. ALL NEW  
 MATERIALS SHALL BE MATCHED TO THE EXISTING  
 MATERIALS AS FAR AS POSSIBLE. ALL NEW  
 MATERIALS SHALL MATCH THE EXISTING AS CLOSE AS  
 POSSIBLE.

Alcove height was 21', now reduced to 20'.  
 Roof of dormer was 12/4 above existing street level.  
 Accomplished by reducing ceiling heights in addition.

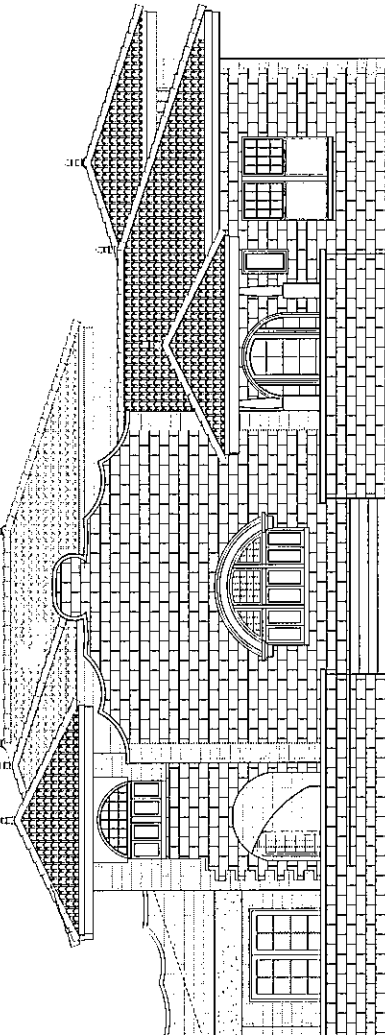
Roof of dormer is 12/4 below  
 existing parapet wall.



**PROPOSED FRONT ELEVATION**

SCALE: 1/8" = 1'-0"  
 NOTE: ALL NEW OVER BLOCK TO MATCH THE EXISTING  
 OVER BLOCK AS CLOSE AS POSSIBLE. ALL NEW  
 WINDOWS TO BE 1/2" TO 1" AND TO MATCH THE  
 EXISTING WINDOW COORDINATES AS CLOSE AS  
 POSSIBLE TO MATCH THE EXISTING AS CLOSE AS  
 POSSIBLE.

# A SINGLE FAMILY RESIDENCE



1776 Challen Ave  
Imperious Calculations:

Zoning: 2-Story 35'  
Construction  
MAX. Building Height:

IMPERIOUS Calculations:  
Lot Size: 14,337 SF

Description  
Main AC 2,897  
Garage 432  
Covered Out Door Area 228

Entry 96  
Open Patio 325

Driveway, Pool Deck 3,360 SF  
Entry Walkway 676  
AC Generator Pads 27

TOTAL 5,237 SF

Impenious Allowed 50.00%  
Impenious Provided 36.97%  
Impenious Differential -13.03%

DESIGNER: **PK**  
PHIL KEAN  
ARCHITECTURE  
INTERIORS  
1825 W. PALM BLVD.  
APT. 1000, PALM BEACH, FL 33480  
TEL: 561-833-3333  
WWW.PHILKEANARCHITECT.COM

ENGINEER:  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_

PROJECT:  
GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY  
DATE: \_\_\_\_\_ DESC.: \_\_\_\_\_  
DRAWN BY: PHIL KEAN  
CHECKED BY: MITCH BURDEN

DESCRIPTION	AREA	PERCENT
1st Floor	14,337 SF	50.00%
2nd Floor	2,897 SF	36.97%
Garage	432 SF	OR
Covered Out Door Area	228 SF	OR
Entry	96 SF	OR
Open Patio	325 SF	OR
Driveway, Pool Deck	3,360 SF	OR
Entry Walkway	676 SF	OR
AC Generator Pads	27 SF	OR
TOTAL	5,237 SF	OR

SHEET	SHEET NAME	COVERSHEET
CS	GENERAL	
AR	ARCHITECTURAL	
AS	AS-BUILT 1st FLOOR PLAN	
AS1	AS-BUILT 1st FLOOR GARAGE	
AS2	AS-BUILT 1st FLOOR PLAN	
AS3	AS-BUILT 2nd FLOOR PLAN	
AS4	AS-BUILT ELEVATIONS	
AS5	AS-BUILT ROOF PLAN	
AS6	AS-BUILT ELEVATIONS	
AS7	AS-BUILT ROOF PLAN	
AS8	AS-BUILT ELEVATIONS	
AS9	AS-BUILT ROOF PLAN	
AS10	AS-BUILT ELEVATIONS	
AS11	AS-BUILT ROOF PLAN	
AS12	AS-BUILT ELEVATIONS	
AS13	AS-BUILT ROOF PLAN	
AS14	AS-BUILT ELEVATIONS	
AS15	AS-BUILT ROOF PLAN	
AS16	AS-BUILT ELEVATIONS	
AS17	AS-BUILT ROOF PLAN	
AS18	AS-BUILT ELEVATIONS	
AS19	AS-BUILT ROOF PLAN	
AS20	AS-BUILT ELEVATIONS	
AS21	AS-BUILT ROOF PLAN	
AS22	AS-BUILT ELEVATIONS	
AS23	AS-BUILT ROOF PLAN	
AS24	AS-BUILT ELEVATIONS	
AS25	AS-BUILT ROOF PLAN	
AS26	AS-BUILT ELEVATIONS	
AS27	AS-BUILT ROOF PLAN	
AS28	AS-BUILT ELEVATIONS	
AS29	AS-BUILT ROOF PLAN	
AS30	AS-BUILT ELEVATIONS	
AS31	AS-BUILT ROOF PLAN	
AS32	AS-BUILT ELEVATIONS	
AS33	AS-BUILT ROOF PLAN	
AS34	AS-BUILT ELEVATIONS	
AS35	AS-BUILT ROOF PLAN	
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AS39	AS-BUILT ROOF PLAN	
AS40	AS-BUILT ELEVATIONS	
AS41	AS-BUILT ROOF PLAN	
AS42	AS-BUILT ELEVATIONS	
AS43	AS-BUILT ROOF PLAN	
AS44	AS-BUILT ELEVATIONS	
AS45	AS-BUILT ROOF PLAN	
AS46	AS-BUILT ELEVATIONS	
AS47	AS-BUILT ROOF PLAN	
AS48	AS-BUILT ELEVATIONS	
AS49	AS-BUILT ROOF PLAN	
AS50	AS-BUILT ELEVATIONS	
AS51	AS-BUILT ROOF PLAN	
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AS56	AS-BUILT ELEVATIONS	
AS57	AS-BUILT ROOF PLAN	
AS58	AS-BUILT ELEVATIONS	
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AS60	AS-BUILT ELEVATIONS	
AS61	AS-BUILT ROOF PLAN	
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AS64	AS-BUILT ELEVATIONS	
AS65	AS-BUILT ROOF PLAN	
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AS67	AS-BUILT ROOF PLAN	
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AS69	AS-BUILT ROOF PLAN	
AS70	AS-BUILT ELEVATIONS	
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AS73	AS-BUILT ROOF PLAN	
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AS75	AS-BUILT ROOF PLAN	
AS76	AS-BUILT ELEVATIONS	
AS77	AS-BUILT ROOF PLAN	
AS78	AS-BUILT ELEVATIONS	
AS79	AS-BUILT ROOF PLAN	
AS80	AS-BUILT ELEVATIONS	
AS81	AS-BUILT ROOF PLAN	
AS82	AS-BUILT ELEVATIONS	
AS83	AS-BUILT ROOF PLAN	
AS84	AS-BUILT ELEVATIONS	
AS85	AS-BUILT ROOF PLAN	
AS86	AS-BUILT ELEVATIONS	
AS87	AS-BUILT ROOF PLAN	
AS88	AS-BUILT ELEVATIONS	
AS89	AS-BUILT ROOF PLAN	
AS90	AS-BUILT ELEVATIONS	
AS91	AS-BUILT ROOF PLAN	
AS92	AS-BUILT ELEVATIONS	
AS93	AS-BUILT ROOF PLAN	
AS94	AS-BUILT ELEVATIONS	
AS95	AS-BUILT ROOF PLAN	
AS96	AS-BUILT ELEVATIONS	
AS97	AS-BUILT ROOF PLAN	
AS98	AS-BUILT ELEVATIONS	
AS99	AS-BUILT ROOF PLAN	
AS100	AS-BUILT ELEVATIONS	

**NOTES**

**BASED ON THE FLORIDA RESIDENTIAL BUILDING CODE 2014**

TO THE BEST OF THIS ENGINEER'S INTERPRETATION, THESE DRAWINGS MEET THE REQUIREMENTS OF CHAPTER 3 OF THE FLORIDA RESIDENTIAL BUILDING CODE 2014. THE ENGINEER'S INTERPRETATION IS SUBJECT TO THE LOCAL JURISDICTIONS.

**CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.**

**ALL CONSTRUCTION SHALL BE BRACED AND SHORED BY THE CONTRACTOR AS REQUIRED TO SAFELY PERFORM THE WORK IN THESE AREAS.**

**ROOF COVERINGS**  
ALL ROOF COVERINGS SHALL BE NOTED ON PLANS AND COMPLY WITH CHAPTER 9.

**WINDOWS AND DOORS**  
ALL WINDOWS AND DOORS SHALL BE DESIGNED TO MEET AT LEAST THE WIND PRESSURES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AS AN ATTACHMENT TO THIS PLAN SET AT THE TIME OF APPLICATION FOR PERMIT WHEN REQUIRED BY THE PERMITTING AUTHORITY.

**STAIR AND RAILING NOTES**  
STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311.7. GUARDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R312 MEANS OF EGRESS.

**MECHANICAL AND HVAC**  
CONFORM WITH THE MINIMUM REQUIREMENTS OF CHAPTER 13, SECTION 13.06. ENERGY CALCULATIONS FOR HEATING AND COOLING CAPACITIES SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AS AN ATTACHMENT TO THIS PLAN SET AT THE TIME OF APPLICATION FOR PERMIT.

**TERMITE**

SECTION 16.03 PROTECTION AGAINST TERMITES

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION AS SET FORTH IN SECTION 16.03 REGISTERED TERMITICIDES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT UPON COMPLETION OF THE WORK. THE CONTRACTOR SHALL OBTAIN THE FOLLOWING STATEMENT FROM THE BUILDING DEPARTMENT UPON COMPLETION OF THE WORK:

STATEMENT: THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

**NOTES:**

- METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION. LIQUID BORATE OR BOR-ACOK PRODUCT METHODS MUST BE DETERMINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON FILE WITH THE BUILDING DEPARTMENT.
- PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT IS REQUIRED TO BE TREATED FOR TERMITES SHALL BE RE-TREATED TO PREVENT TERMITES INFESTATION.
- BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 2" A.F.F.

**STUCCO**

ASTM C 1063 - 06

7.0.2 METAL LATH SHALL BE LAPPED 3 IN. (12.7mm) AT THE SIDES, OR MEET AT CORNERS. STAPLES SHALL BE DRIVEN THROUGH THE LATH AND INTO THE FRAME METAL LATH IN 25" AT ENDS, WHERE JOINTS OCCUR BETWEEN THE FRAMING MEMBERS. THE ENDS OF THE SHEETS OF ALL METAL PLASTER BASES SHALL BE LACED OR WIRE TIED WITH D-0475-IN. (1.21-mm) GALVANIZED, ANNEALED STEEL WIRE.

7.1.0.2 LATH SHALL BE ATTACHED TO FRAMING MEMBERS WITH SUPPORTS SPACED NOT MORE THAN 7 IN. (178mm) ON CENTERS ALONG ALL EDGES.

7.1.0.2.2 DIAMOND-MESH EXPANDED METAL LATH, FLAT-RIB EXPANDED METAL LATH, AND WIRE LATH SHALL BE ATTACHED TO HORIZONTAL WOOD FRAMING MEMBERS WITH #3 (9.5mm) ROOFING NAILS DRIVEN FLUSH WITH THE FACE OF COMMON WALLS, OR 1-IN. (25mm) ROOFING NAILS DRIVEN TO A PENETRATION OF NOT LESS THAN 1/4 IN. (19.1mm), OR 1-IN. (25mm) WIRE STAPLES DRIVEN FLUSH WITH THE PLASTER FACE. STAPLES SHALL HAVE MORE THAN THREE STRIKES OF LATH AND PENETRATE THE WOOD FRAMING MEMBERS NOT LESS THAN 3/4 IN. (19.05mm) WHEN METAL LATH IS APPLIED OVER SHEATHING. USE FASTENERS THAT WILL PENETRATE THE STRUCTURAL MEMBERS NOT LESS THAN 3/4 IN. (19mm).

INDEX

SHEET	SHEET NAME	COVERSHEET
CS	GENERAL	
AR	ARCHITECTURAL	
AS	AS-BUILT 1st FLOOR PLAN	
AS1	AS-BUILT 1st FLOOR GARAGE	
AS2	AS-BUILT 1st FLOOR PLAN	
AS3	AS-BUILT 2nd FLOOR PLAN	
AS4	AS-BUILT ELEVATIONS	
AS5	AS-BUILT ROOF PLAN	
AS6	AS-BUILT ELEVATIONS	
AS7	AS-BUILT ROOF PLAN	
AS8	AS-BUILT ELEVATIONS	
AS9	AS-BUILT ROOF PLAN	
AS10	AS-BUILT ELEVATIONS	
AS11	AS-BUILT ROOF PLAN	
AS12	AS-BUILT ELEVATIONS	
AS13	AS-BUILT ROOF PLAN	
AS14	AS-BUILT ELEVATIONS	
AS15	AS-BUILT ROOF PLAN	
AS16	AS-BUILT ELEVATIONS	
AS17	AS-BUILT ROOF PLAN	
AS18	AS-BUILT ELEVATIONS	
AS19	AS-BUILT ROOF PLAN	
AS20	AS-BUILT ELEVATIONS	
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AS22	AS-BUILT ELEVATIONS	
AS23	AS-BUILT ROOF PLAN	
AS24	AS-BUILT ELEVATIONS	
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AS26	AS-BUILT ELEVATIONS	
AS27	AS-BUILT ROOF PLAN	
AS28	AS-BUILT ELEVATIONS	
AS29	AS-BUILT ROOF PLAN	
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AS32	AS-BUILT ELEVATIONS	
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AS94	AS-BUILT ELEVATIONS	
AS95	AS-BUILT ROOF PLAN	
AS96	AS-BUILT ELEVATIONS	
AS97	AS-BUILT ROOF PLAN	
AS98	AS-BUILT ELEVATIONS	
AS99	AS-BUILT ROOF PLAN	
AS100	AS-BUILT ELEVATIONS	

ENGINEERING

5/1.0 FOUNDATION PLAN  
5/2.0 STRUCTURAL MAIN LEVEL FLOOR PLAN  
5/3.0 STRUCTURAL UPPER LEVEL FLOOR PLAN  
5/4.0 MAIN LEVEL FRAMING PLAN  
5/5.0 UPPER LEVEL FRAMING PLAN  
5/6.0 DETAILS  
5/7.0 DETAILS  
5/8.0 DETAILS

SHEET DESC.:  
COVERSHEET

SHEET CS





DESIGNER:  

**PHIL KEAN**  
 ARCHITECT  
 2125 W. 13th Street, Suite 100  
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 Fax: (954) 575-2253  
 www.philkean.com

ENGINEER:  
 D.T.E.  
 www.dte.com

PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVF.  
 JACKSONVILLE, FLORIDA

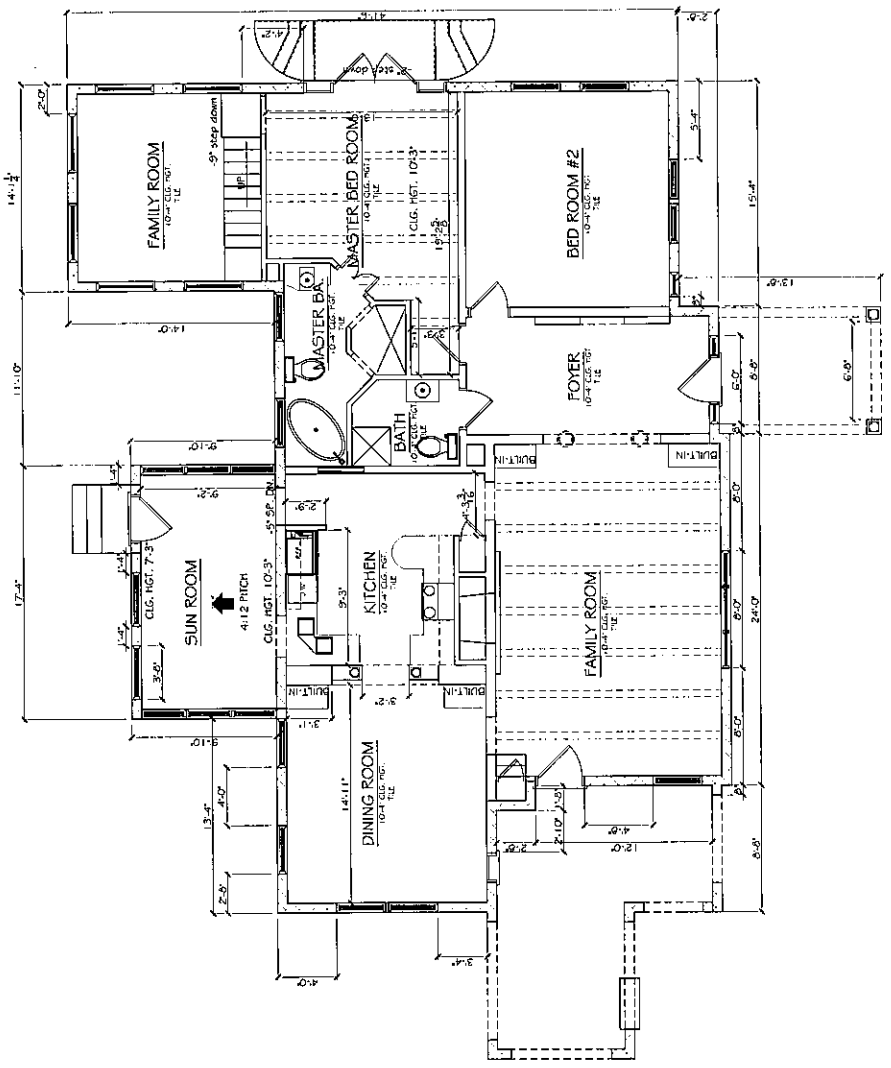
PLAN HISTORY	DATE	DESC.
	09/11/17	CONCEPT

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CRONK

SHEET DESC.:  
 AS-BUILT FLOOR  
 PLAN

SHEET

ABI.0



AS-BUILT 1st FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



DESIGNER:

**PK**  
**PHIL KEAN**  
 ARCHITECTURE  
 INTERIORS  
 4400 W. PALM BLVD. SUITE 200  
 JACKSONVILLE, FL 32217  
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ENGINEER:

DATE: PROJECT:

PROJECT:

GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY

DATE	DESC.
01.17.17	CONCEPT

SHEET DATA:

DESIGNED BY: PHIL KEAN  
DRAWN BY: JOHN CRONK

SHEET DESC.:

AS-BUILT 2nd FLOOR PLAN

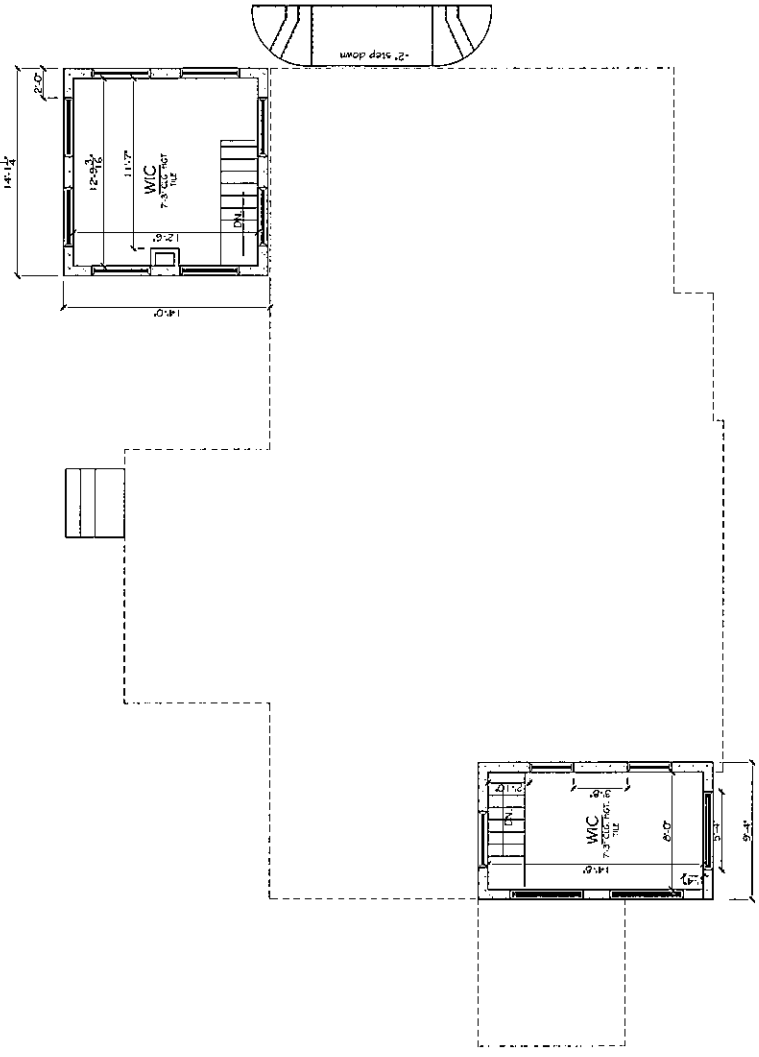
SHEET

AB1.0

WALL LEGEND	
	1X4 CMU BLOCK WALL
	2X4 INTERIOR WALL

MAIN LEVEL	
ACCT. 1st FLOOR	1920
WALLS	538
W/C MASTER	149
STORAGE	149
TOTAL UNDER ROOF	2602



AS-BUILT 2nd FLOOR PLAN  
SCALE: 1/4" = 1'-0"

DESIGNER:  
**PK**  
 PHIL KEAN  
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 INTERIORS  
 112 S. GUY WOOD  
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PLAN HISTORY	DATE	DESC.:
	05/17/17	CONCEPT

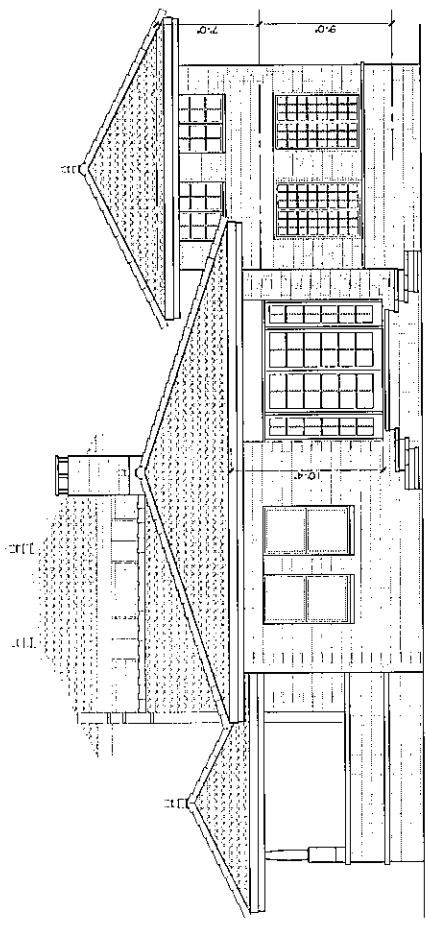
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 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CRONK

SHEET DESC.:

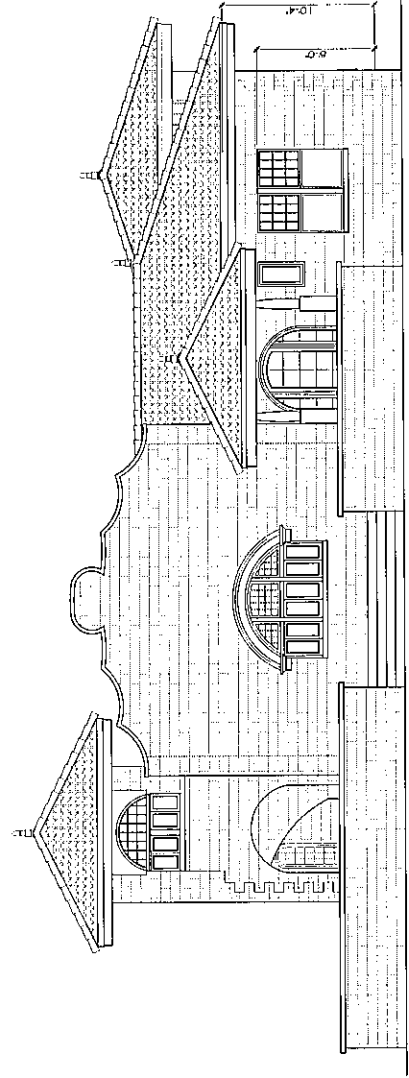
AS-BUILT  
 ELEVATIONS

SHEET

AB3.0



RIGHT ELEVATION  
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"

DESIGNER:

**PK**  
PHIL KEAN  
ARCHITECTURE  
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402 S. W. 10th Ave., Suite 200  
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Phone: 904.252.3333  
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ENGINEER:

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PLAN HISTORY

DATE | DESC. |

05/17/17 | CONCEPT |

SHEET DATA:

DESIGNED BY:

PHIL KEAN

DRAWN BY:

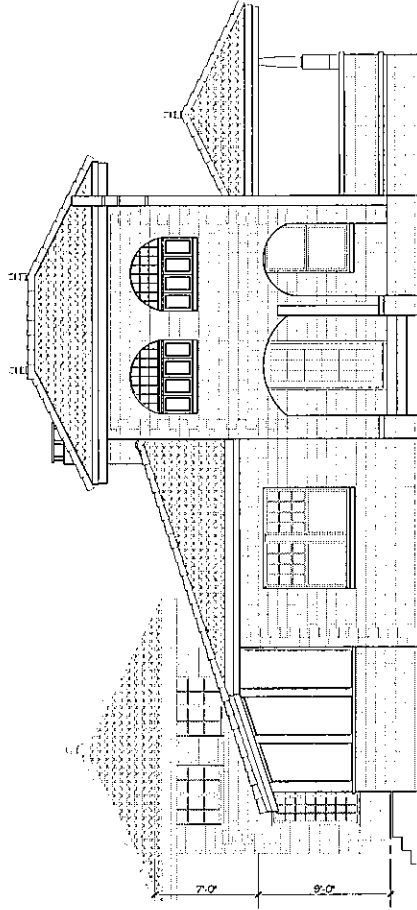
JOHN CROOK

SHEET DESC.:

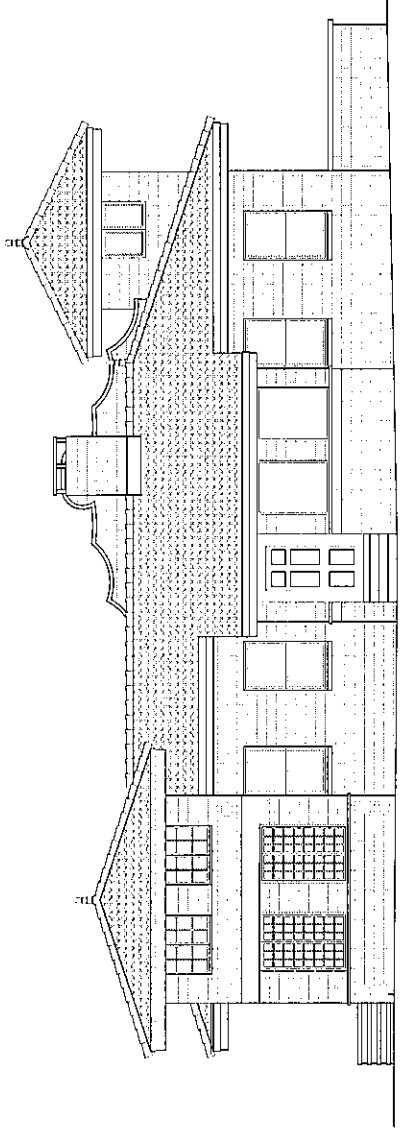
AS-BUILT  
ELEVATIONS

SHEET

AB3.1



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

DESIGNER:  
**PK**  
 PHIL KEAN  
 ARCHITECTURE  
 112 S. LAFAYETTE  
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 PHONE: 904.759.3299  
 FAX: 904.759.3253  
 WWW.PHILKEANARCH.COM

ENGINEER:

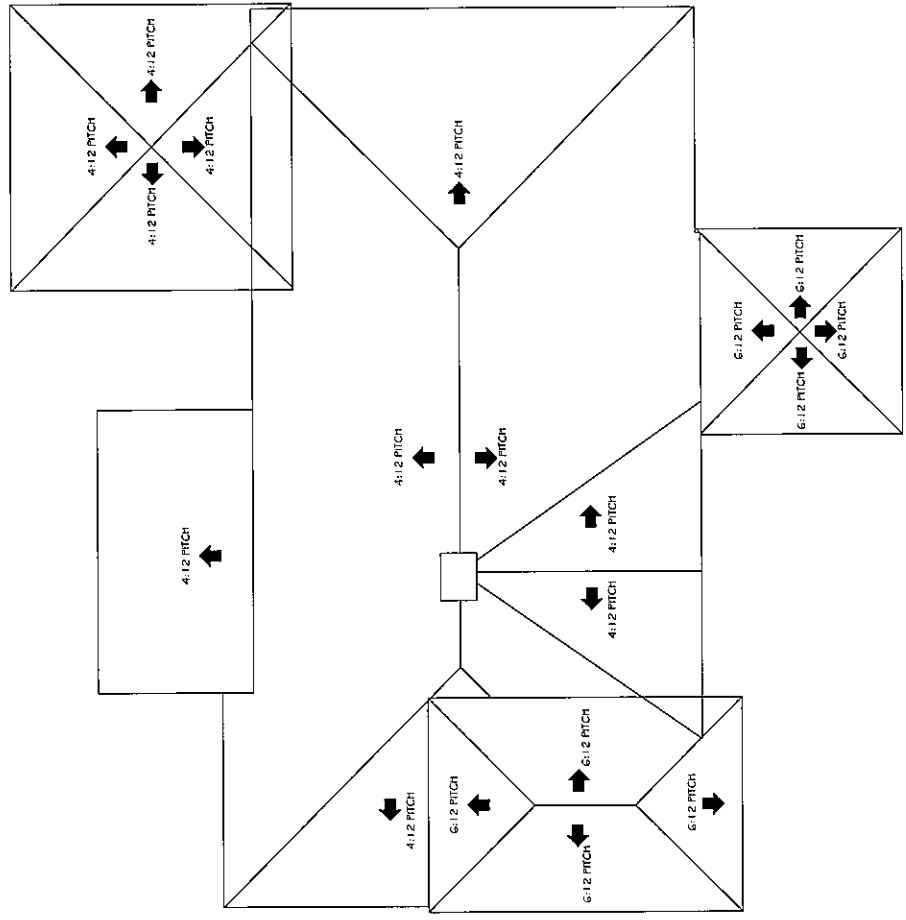
PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY	DATE	DESC.	BY	COUNT

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CRONK

SHEET DESC.:  
 AS-BUILT ROOF  
 PLAN

SHEET  
 ABA.0



AS-BUILT ROOF PLAN  
 SCALE: 1/8" = 1'-0"

DESIGNER:  
 **PHIL KEAN**  
 CONSULTING ENGINEER  
 11111 W. BAYVIEW BLVD. SUITE 100  
 MIAMI, FL 33147  
 TEL: 305.555.1234  
 FAX: 305.555.5678  
 WWW.PHILKEAN.COM

ENGINEER:  
 \_\_\_\_\_  
 \_\_\_\_\_

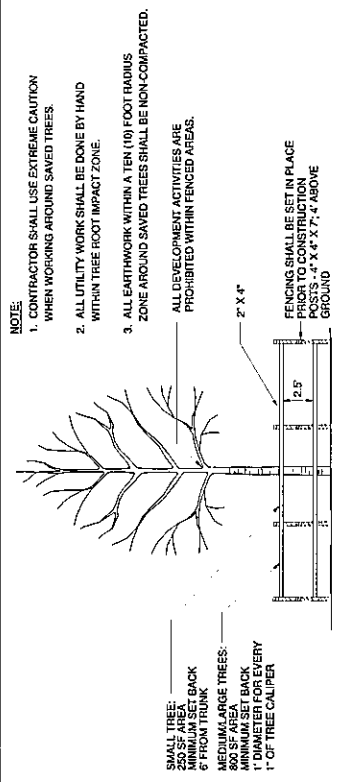
PROJECT:  
**GINGER HARRIS**  
**1776 CHALLEN AVE.**  
**JACKSONVILLE, FLORIDA**

PLAN HISTORY	DATE	DESC.

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 DESIGNED BY: PHIL KEAN  
 DRAWN BY: JOHN CRONK

SHEET DESC.:  
 NEW SITE PLAN

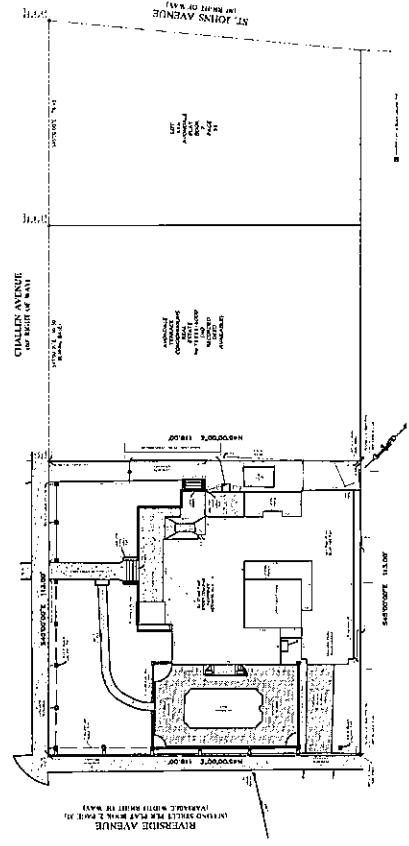
SHEET  
**NS**



**NOTE:** FENCING SHALL BE AT LEAST 4' ABOVE GROUND AND MIN. OF 7' BELOW GRADE.  
 EACH TREE PROTECTION AREA SHALL HAVE A MINIMUM OF TWO SIGNS ATTACHED TO THE FENCE WHICH SHALL FACE TO THE EXTERIOR OF THE TREE PROTECTION AREA.

**TREE PROTECTION DETAIL**

N.T.S.  
 MAP SHOWING BOUNDARY SURVEY OF LOT 10, BLOCK 6, PHASE 2, AS SHOWN ON MAP OF EDEWOOD, AN INCORPORATED PART OF THE COUNTY RECORDS IN MOUNTAIN VIEW, FLA.  
 REFERRED TO UNDER MAPS



**PROPOSED SITE PLAN**  
 SCALE: N.T.S.

DESIGNER:  

**PHIL KEAN**  
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 INTERIORS  
 4125 W. UNIVERSITY BLVD.  
 SUITE 100  
 JACKSONVILLE, FLORIDA 32216  
 PHONE: 904.731.3276  
 FAX: 904.731.3253  
 WWW.DKARCHITECTURE.COM

ENGINEER:  
 \_\_\_\_\_  
 \_\_\_\_\_

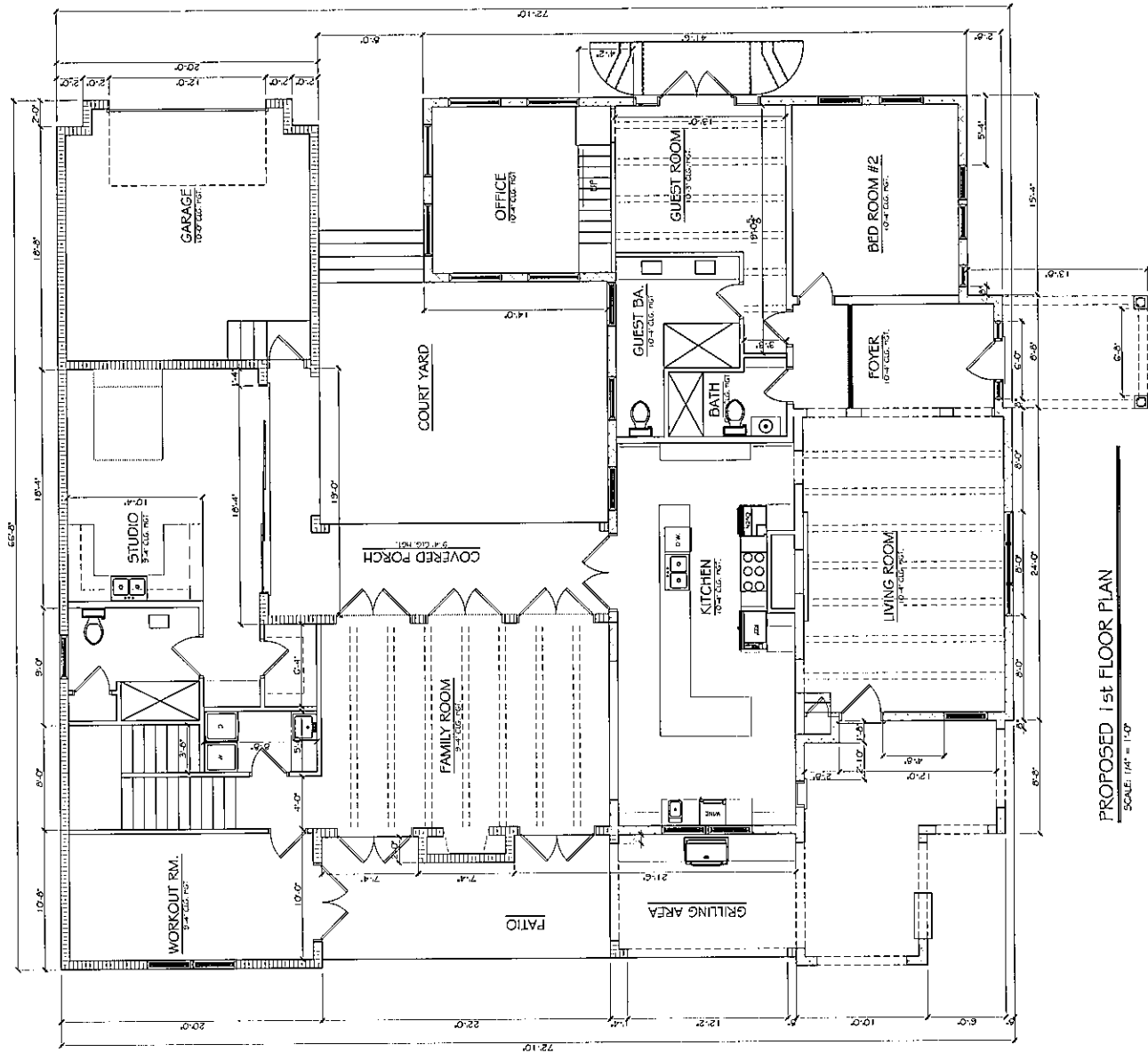
PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY	DATE	DESC.
	9/11/12	CONSTR. 2

SHEET DATA:
DESIGNED BY: PHIL KEAN
DRAWN BY: JOHN CHONK

SHEET DESC.:  
 NEW 1st  
 FLOOR PLAN  
 DIMENSIONED

SHEET  
 1.0



PROPOSED 1st FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

DESIGNER:  
 **PHIL KEAN**  
 ARCHITECTURE  
 INTERIORS  
 1100 W. GULF BLVD., SUITE 200  
 JACKSONVILLE, FLORIDA 32209  
 PHONE: 904.733.3333  
 FAX: 904.733.3333  
 WWW: WWW.PHILKEAN.COM

ENGINEER:  
 DUE

PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

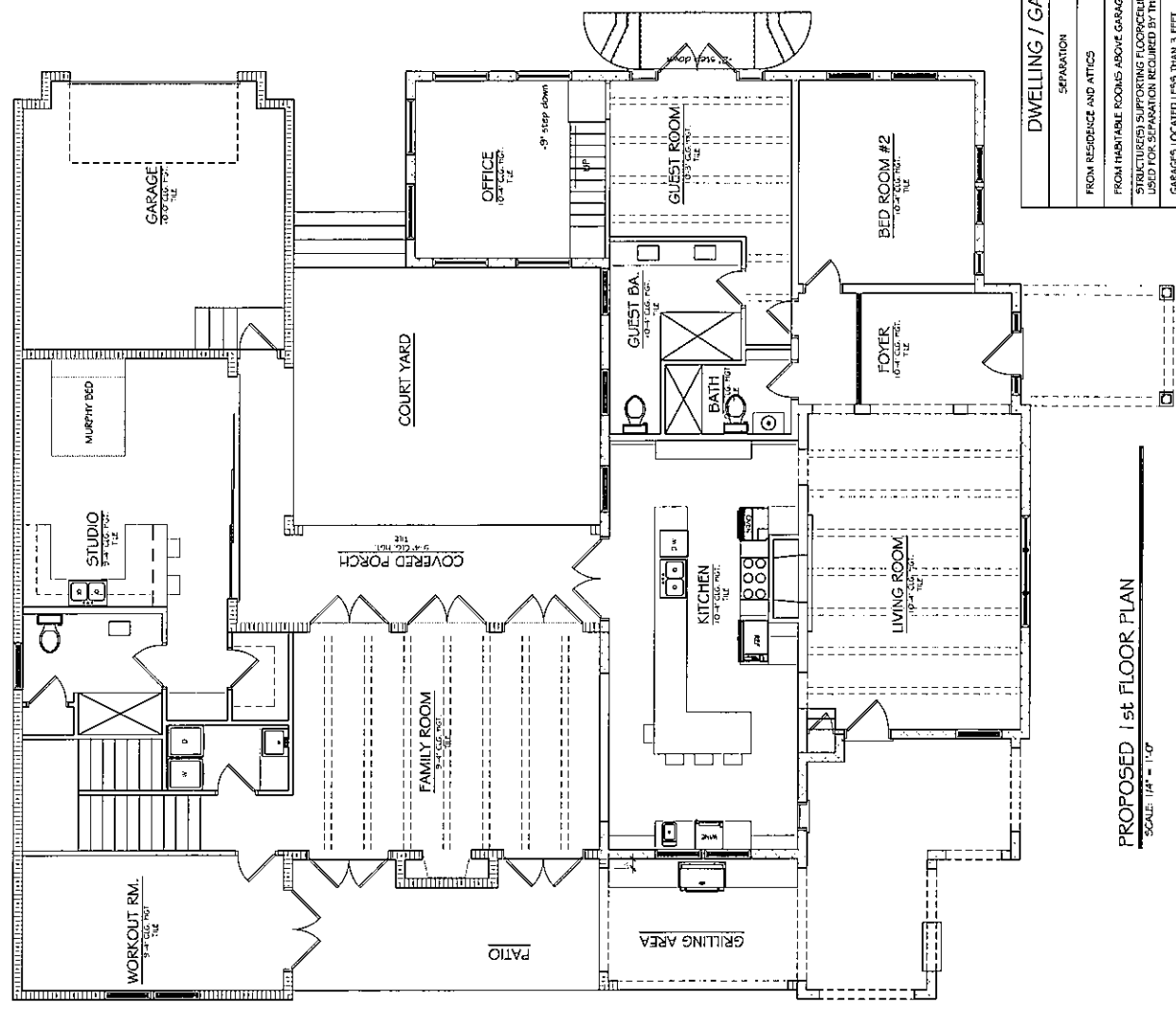
PLAN HISTORY	DATE	DESC.:
	08-27-17	ISSUE 1

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CRONK

SHEET DESC.:	MAIN LEVEL
	FLOOR PLAN
	NOTED
	SHEET
	1

**PLAN NOTES:**

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A 20 MIN. FIRE RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1 AND 3/4 INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR. DOOR SHALL BE EQUIPPED WITH AUTOMATIC CLOSER.
2. PROVIDE 2X BLOCKING AT MIDPOINT ON ALL INTERIOR STUD WALLS.



AS-BUILT AREA

MAIN LEVEL	DATE	DESC.:
AC: 1st FLOOR	1830	
GARAGE	1830	
W/C MASTER	1830	
STORAGE	1830	
TOTAL UNDER ROOF:	2602	

**WALL LEGEND**

	EXISTING CMU BLOCK WALL
	NEW CMU BLOCK WALL
	EXISTING 2X INTERIOR WALL
	NEW 2X INTERIOR WALL

**MAIN LEVEL**

AC: 1st FLOOR	2996
GARAGE	645
W/C MASTER	393
STORAGE	393
TOTAL UNDER ROOF:	4376

**DWELLING / GARAGE SEPARATION (TABLE R305.6)**

SEPARATION	MATERIAL
FROM RESIDENCE AND ATTICS	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN 1/2 INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOORING ASSEMBLY USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT AS NOTED ON THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.

**PROPOSED 1st FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

DESIGNER:  
**PK**  
**PHIL KEAN**  
 ARCHITECTURE  
 INTERIORS  
 812 S. PALM BLVD  
 APT. 201, PALM BEACH, FL 33480  
 TEL: 561-833-3333  
 FAX: 561-833-3333  
 WWW.PHILKEAN.COM

ENGINEER:  
 \_\_\_\_\_

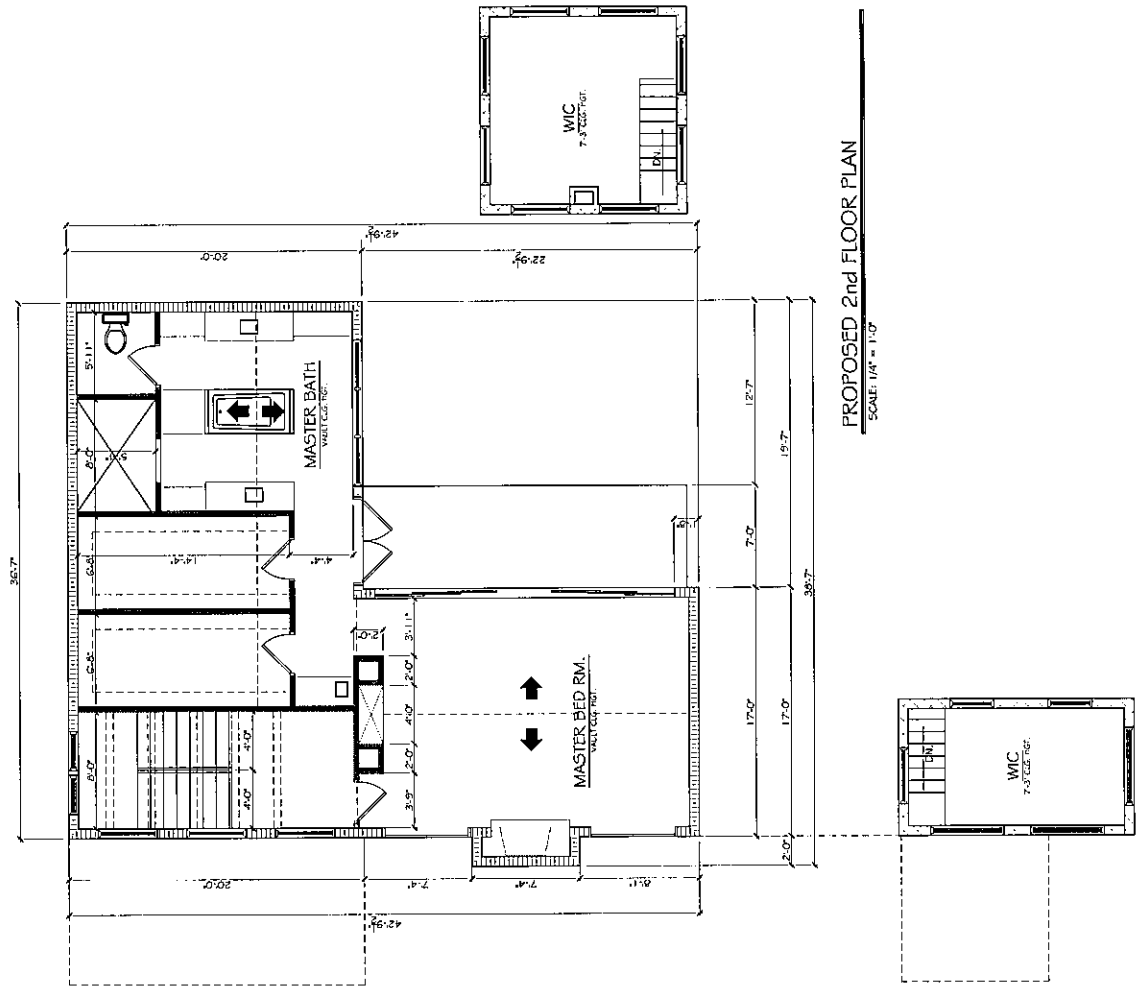
PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY  
 DATE / DESC.:  
 2/11/10 / COURT 2

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CRONK

SHEET DESC.:  
 2nd  
 FLOOR PLAN  
 DIMENSIONED

SHEET  
 2.0



PROPOSED 2nd FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



DESIGNER:  
 PHIL KEAN  
 ARCHITECTURE  
 INTERIORS  
 1101 GARDNER ST. SUITE 44  
 JACKSONVILLE, FLORIDA 32219  
 PHONE: 904.739.3753  
 FAX: 904.739.3753

ENGINEER:

PROJECT:  
 GINGER HARRIS  
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 JACKSONVILLE, FLORIDA

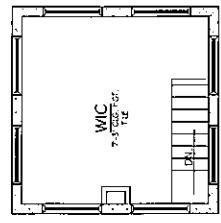
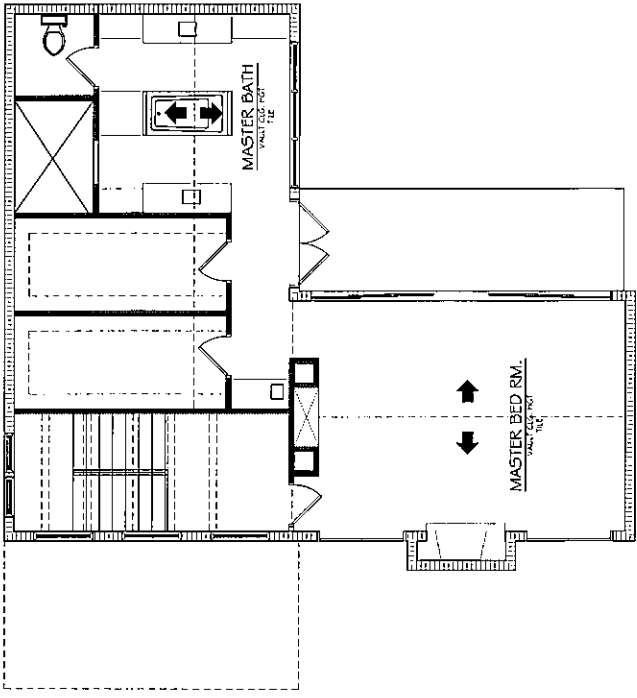
PLAN HISTORY  
 DATE: DESC.:  
 02-17-17 CONCEPT

SHEET DATA:  
 DESIGNED BY: PHIL KEAN  
 DRAWN BY: JOHN CROOK

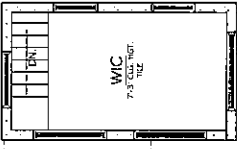
SHEET DESC.:  
 MAIN LEVEL  
 FLOOR PLAN  
 NOTED  
 SHEET  
 1.1

**PLAN NOTES:**

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A 30 MIN. FIRE RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1 AND 3/4 INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR. DOOR SHALL BE EQUIPPED WITH AUTOMATIC CLOSER.
2. PROVIDE 2X BLOCKING AT MIDPOINT ON ALL INTERIOR STUD WALLS.



PROPOSED 2nd FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



**WALL LEGEND**

	EXISTING CMU BLOCK WALL
	NEW CMU BLOCK WALL
	EXISTING 2X INTERIOR WALL
	NEW 2X INTERIOR WALL

**MAIN LEVEL**

AC. 1st FLOOR	2596
AC. 2nd FLOOR	645
WC MASTER	393
STORAGE:	145
TOTAL UNDER ROOF:	4376

SEPARATION	MATERIAL
FROM RESIDENCE AND ATTICS	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN 1/2 INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURES/ SUPPORTING FLOORING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT FACE WITHIN THIS AREA.

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**PK**  
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 4112 GINGER HARRIS BLVD  
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 FAX: 904.759.3323  
 DIVISION OF PROFESSIONAL REGULATION  
 STATE OF FLORIDA  
 REG. NO. 14014  
 WWW.PHILKEAN.COM

ENGINEER:  
 \_\_\_\_\_

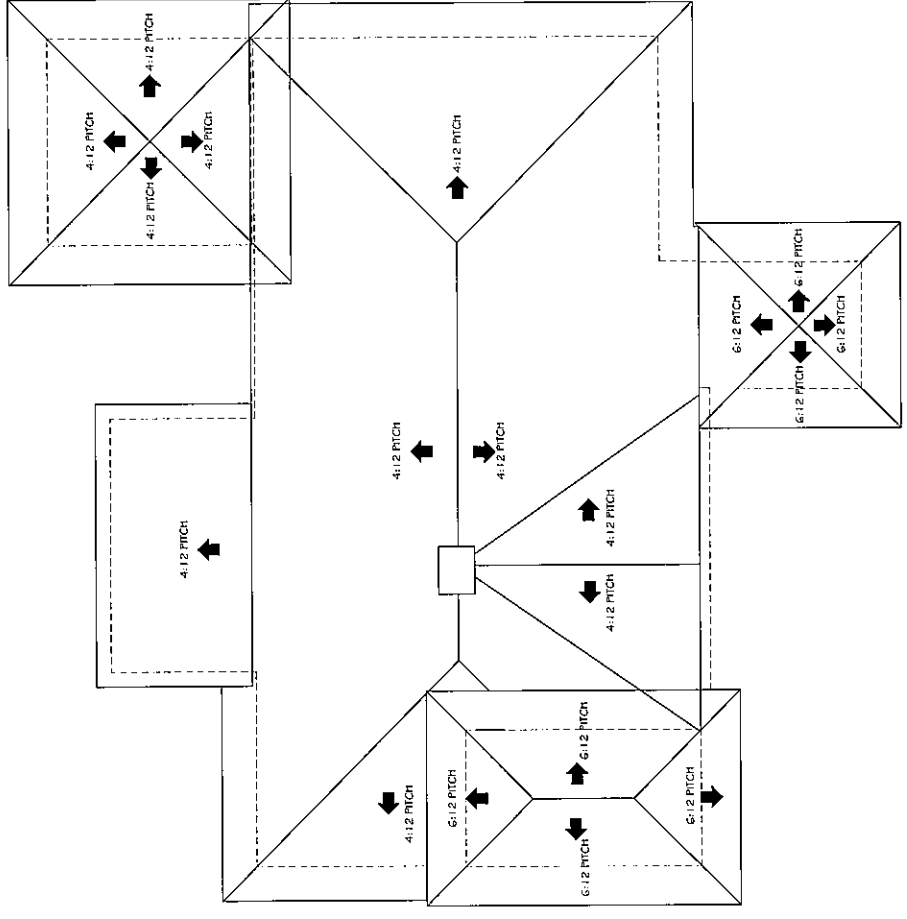
PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY:  
 DATE: \_\_\_\_\_ DESC.: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

SHEET DATA:  
 DESIGNED BY: PHIL KEAN  
 DRAWN BY: JOHN KROMK

SHEET DESC.:  
 UPPER LEVEL  
 FLOOR PLAN  
 NOTED

SHEET  
 3.1



AS-BUILT ROOF PLAN  
 SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

- | DESCRIPTION   |
|---|
| 1. CMU BLOCK  |
| 2. SPUIF FACE CMU BLOCK                                       |
| 3. POURED THE BEAM.   |
| 4. TILE ROOF OVER APPROVED WATER BARREL, OVER ROOF SHEATHING. |
| 5. ALUMIN RAILING   |

**DESIGNER:**  
  
**PHIL KEAN**  
 ARCHITECT  
 112 W. PALM BLVD.  
 MIAMI, FL 33130  
 TEL: 305-576-2779  
 FAX: 305-576-3513  
 WWW.PHILKEAN.COM

**ENGINEER:**

**PROJECT:**

**GINGER HARRIS**  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

**PLAN HISTORY**

DATE	DESC.	BY	CHKD.

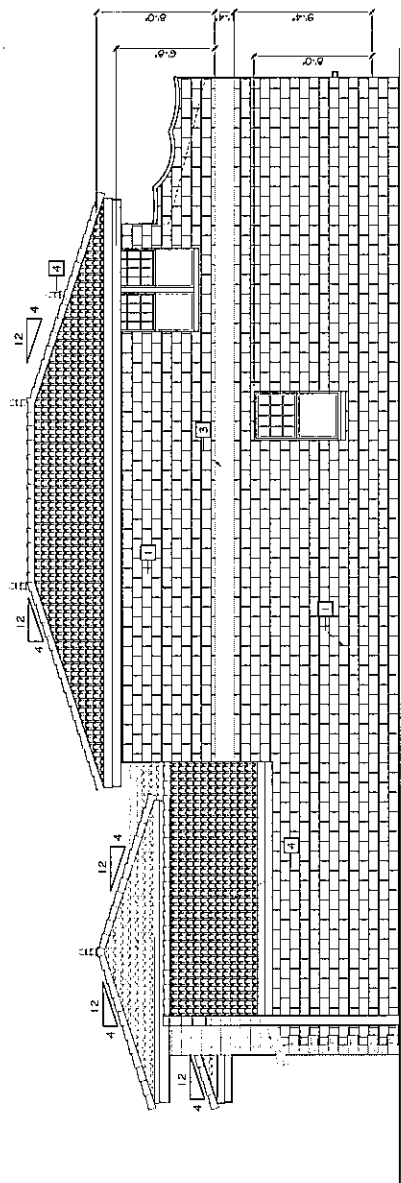
**SHEET DATA:**  
 DESIGNED BY: PHIL KEAN  
 DRAWN BY: JOHN CRONIK

**SHEET DESC.:**

**NEW FRONT AND REAR ELEVATIONS**

**SHEET**

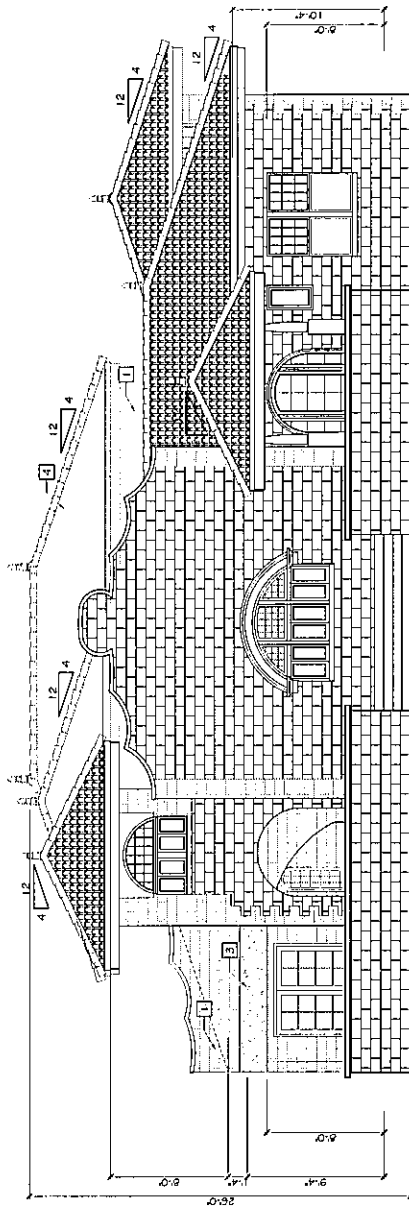
**4.0**



**PROPOSED REAR ELEVATION**

SCALE: 1/4" = 1'-0"

NOTE: ALL NEW CMU BLOCK TO MATCH THE EXISTING CMU BLOCK AS CLOSE AS POSSIBLE. ALL NEW WINDOWS TO BE TILE LITE AND TO MATCH THE EXISTING WINDOW TREATMENTS. ALL NEW TREATMENTS TO MATCH THE EXISTING AS CLOSE AS POSSIBLE.



**PROPOSED FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

NOTE: ALL NEW CMU BLOCK TO MATCH THE EXISTING CMU BLOCK AS CLOSE AS POSSIBLE. ALL NEW WINDOWS TO BE TILE LITE AND TO MATCH THE EXISTING WINDOW TREATMENTS. ALL NEW TREATMENTS TO MATCH THE EXISTING AS CLOSE AS POSSIBLE.

DESIGNER:  
**PK**  
**PHIL KEAN**  
 ARCHITECTURE  
 INTERIORS  
 1100 S. PALM BLVD.  
 SUITE 200  
 PALM BEACH, FL 33480  
 TEL: 561.833.3333  
 FAX: 561.833.3333  
 WWW.PHILKEAN.COM

ENGINEER:  
 \_\_\_\_\_

PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

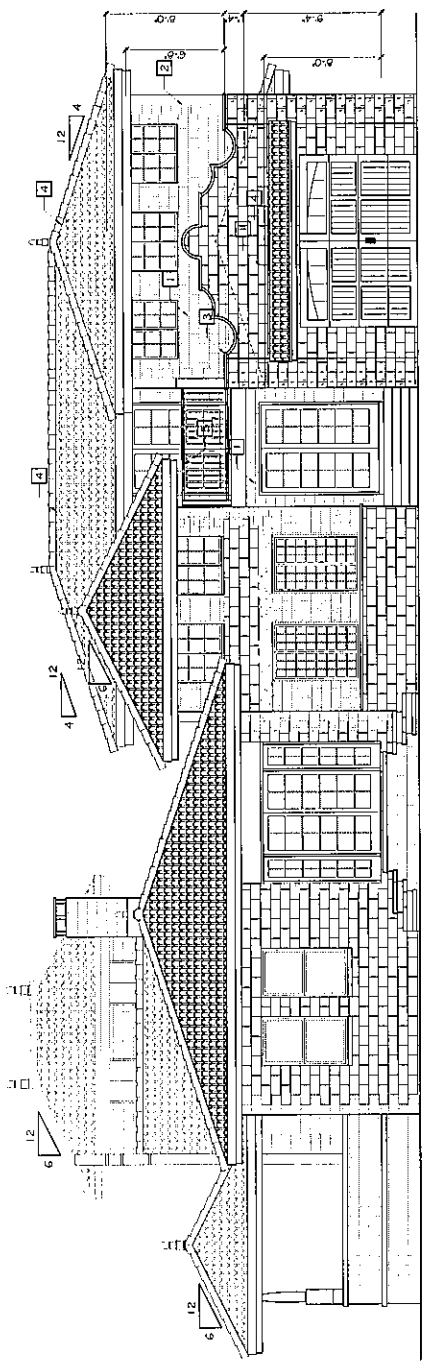
PLAN HISTORY  
 DATE DESC.  
 08.17.17 CONCEPT

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CRONK

SHEET DESC.:  
 NEW LEFT AND  
 RIGHT ELEVATIONS

SHEET  
 4.1

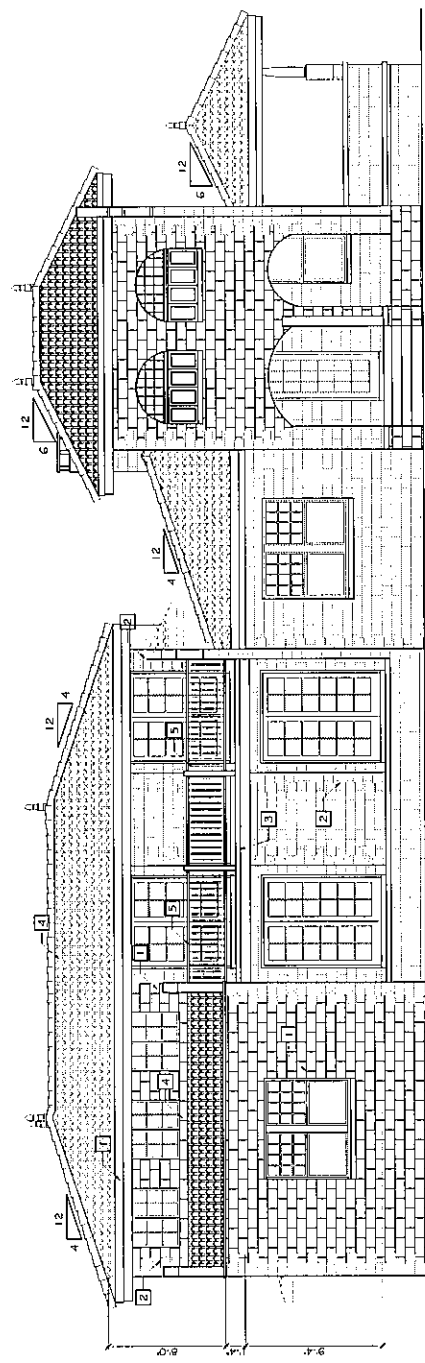
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- | DESCRIPTION   |
|---|
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| 2. SPINT FACE CMU BLOCK.  |
| 3. POURED THE BEAM.   |
| 4. TILE ROOF, COVER APPROVED WATER BARRIER, OTHER ROOF FINISHING. |
| 5. ALUMINI RAILING  |



**PROPOSED RIGHT ELEVATION**

NOTE: ALL NEW CMU BLOCK TO MATCH THE EXISTING CMU BLOCK AS CLOSE AS POSSIBLE. ALL NEW WINDOWS TO BE TRUE LITE AND TO MATCH THE EXISTING AS MUCH AS POSSIBLE. ALL CAST TREATMENTS TO MATCH THE EXISTING AS CLOSE AS POSSIBLE.

SCALE: 1/4" = 1'-0"



**PROPOSED LEFT ELEVATION**

NOTE: ALL NEW CMU BLOCK TO MATCH THE EXISTING CMU BLOCK AS CLOSE AS POSSIBLE. ALL NEW WINDOWS TO BE TRUE LITE AND TO MATCH THE EXISTING AS MUCH AS POSSIBLE. ALL CAST TREATMENTS TO MATCH THE EXISTING AS CLOSE AS POSSIBLE.

SCALE: 1/4" = 1'-0"

DESIGNER:

**PK**  
**PHIL KEAN**  
ARCHITECTURAL  
CONSULTING  
INTERIORS  
1100 S. GARDNER AVE., SUITE 200  
JACKSONVILLE, FL 32218  
TEL: 904.359.3523  
FAX: 904.359.3523  
WWW.PHILKEANARCHITECTS.COM

ENGINEER:

DAVID CHRISTENSEN, P.E.  
1100 S. GARDNER AVE., SUITE 200  
JACKSONVILLE, FL 32218  
TEL: 904.359.3523  
FAX: 904.359.3523  
WWW.PHILKEANARCHITECTS.COM

PROJECT:

GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY:

DATE	DESC.
05/17/17	CONCEPT

SHEET DATA:

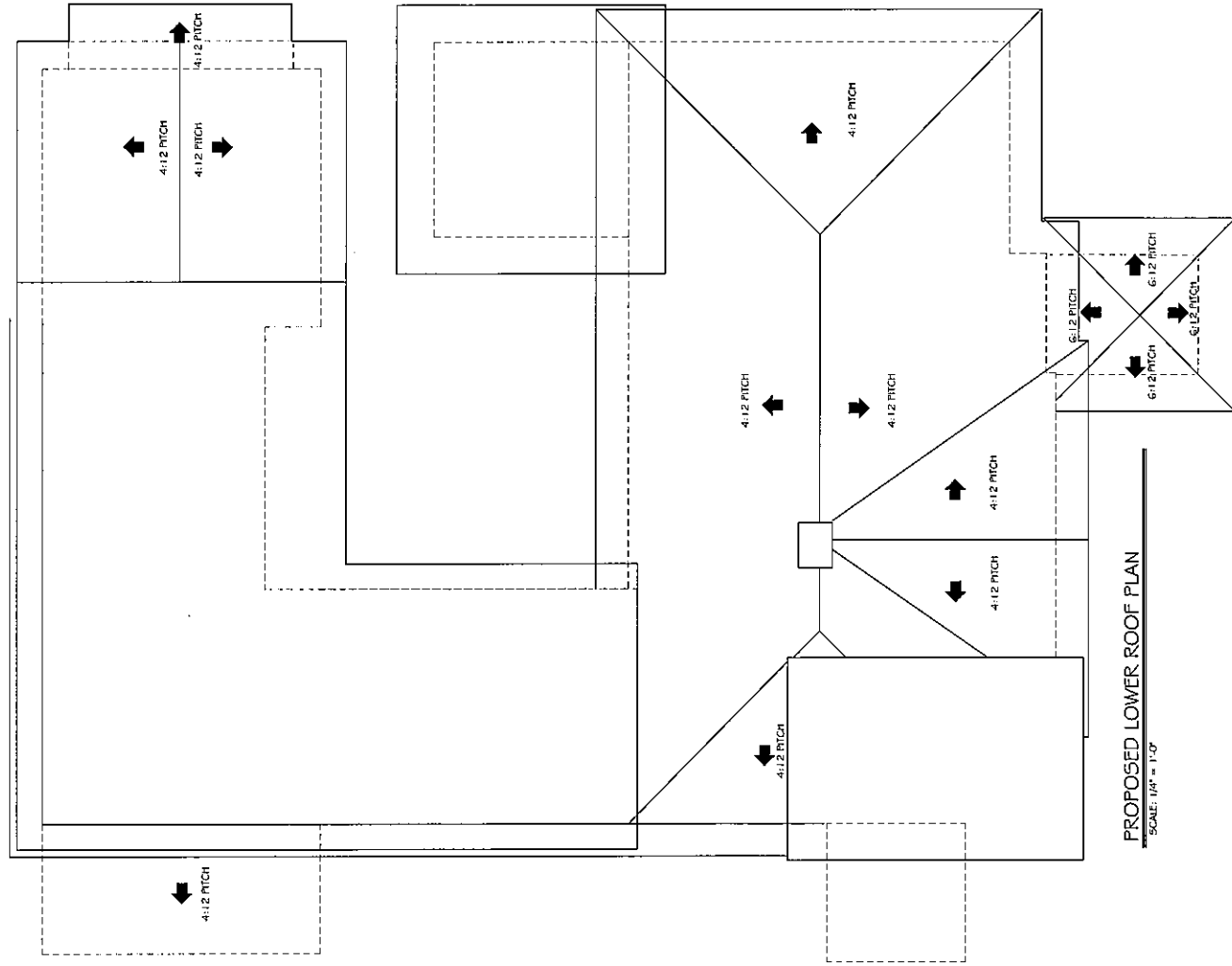
DESIGNED BY:  
PHIL KEAN  
DRAWN BY:  
JOHN CROOK

SHEET DESC.:

LOWER  
ROOF PLAN

SHEET

5.0



PROPOSED LOWER ROOF PLAN  
SCALE: 1/4" = 1'-0"

3

DESIGNER:  
**PK**  
 PHIL KEAN  
 ARCHITECTURE  
 INTERIORS  
 1100 S. GARDNER  
 JACKSONVILLE, FLORIDA 32209  
 PHONE: 904.733.3333  
 FAX: 904.733.3333  
 EMAIL: PHIL@PKA.COM  
 WWW.PKARCHITECTURE.COM

ENGINEER:

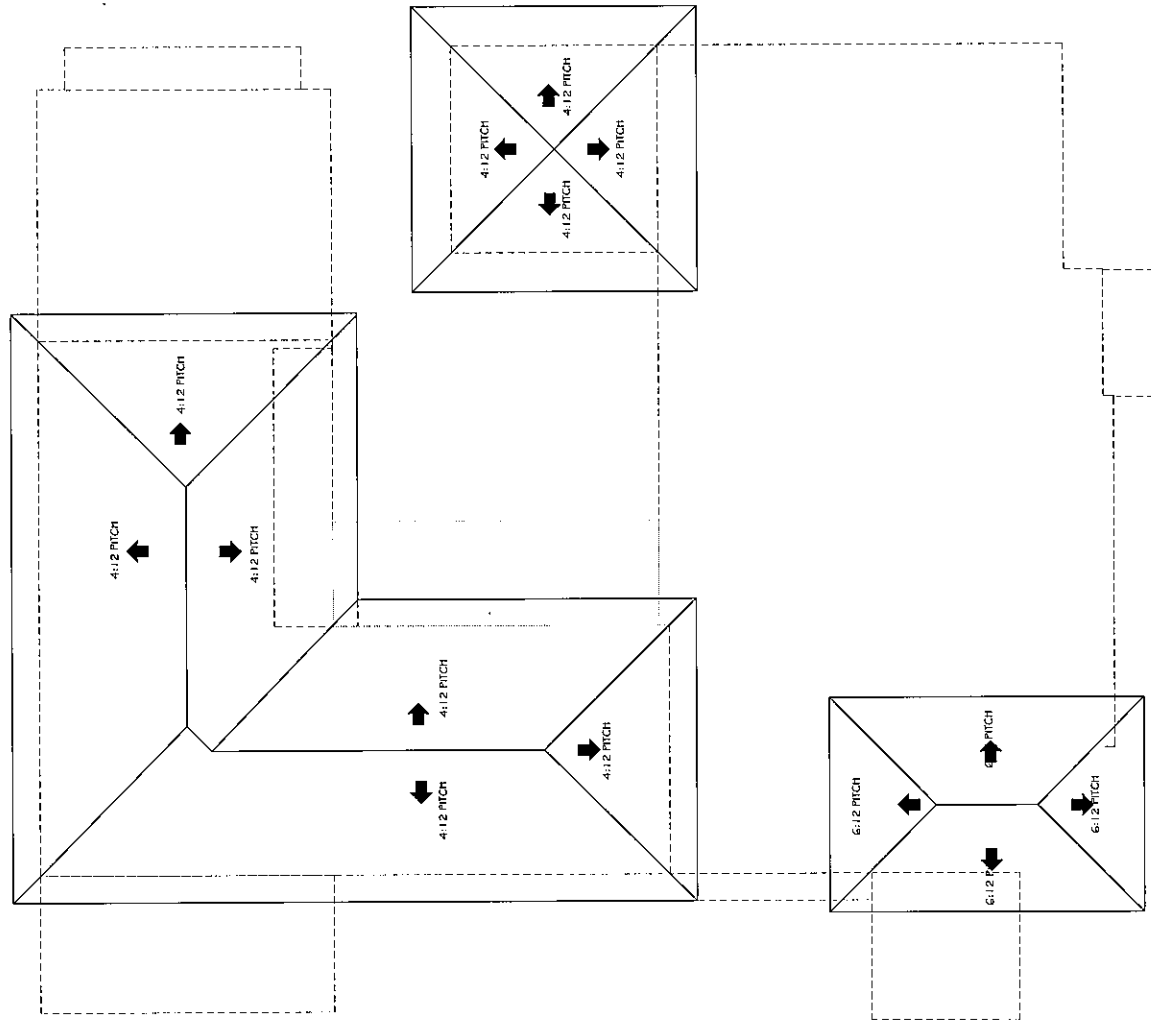
PROJECT:  
 GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY  
 DATE: DESC:  
 07/17/17 000001.2

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CRONK

SHEET DESC.:  
 UPPER  
 ROOF PLAN  
 SHEET

5.1



PROPOSED UPPER ROOF PLAN  
 SCALE 1/4" = 1'-0"

DESIGNER:

**PK**  
PHIL KEAN  
CONSULTING  
INTERIORS  
1111 S. Orange Ave., Suite 1276  
Orlando, FL 32814  
Tel: 407-599-3343  
Fax: 407-599-3343  
www.philkean.com

ENGINEER:

PROJECT:

GINGER HARRIS  
1776 CHALLEN AVE.  
JACKSONVILLE, FLORIDA

PLAN HISTORY:

DATE | DESC.:  
08-13-17 | 000001

SHEET DATA:

DESIGNED BY:  
PHIL KEAN  
DRAWN BY:  
JOHN CROOK

SHEET DESC.:

SITE PHOTOS

SHEET

P



EXISTING SITE PHOTOS

DESIGNER:  
**PK**  
 PHIL KEAN  
 ARCHITECTURE  
 CONSULTING  
 INC.  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA 32209  
 PHONE: 904-358-3333  
 FAX: 904-358-3333  
 WWW.PHILKEAN.COM

ENGINEER:  
 \_\_\_\_\_

PROJECT:  
 \_\_\_\_\_

GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

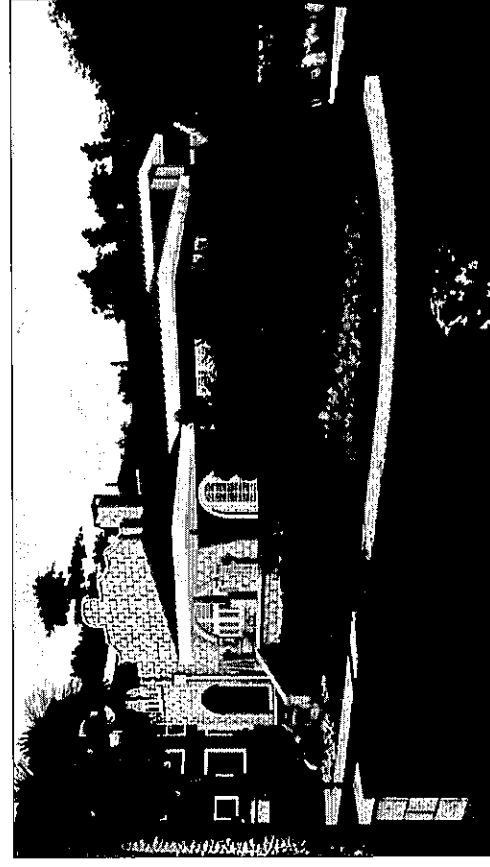
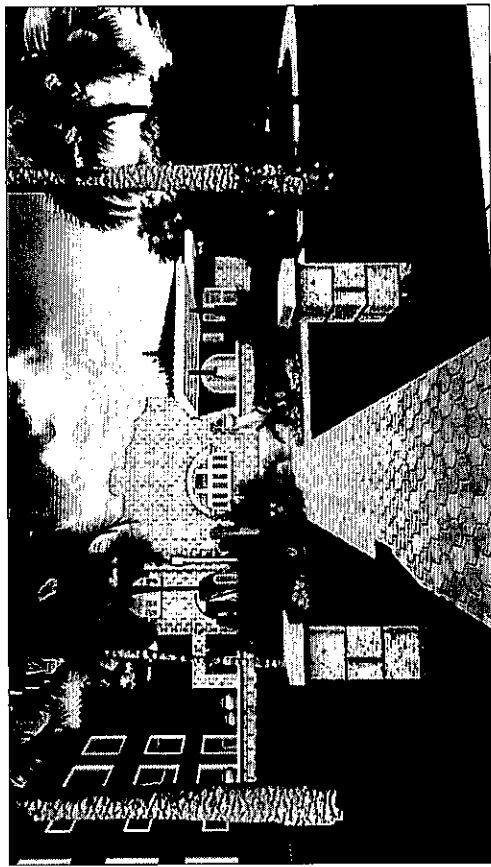
PLAN HISTORY	DATE	DESC.

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CRONK

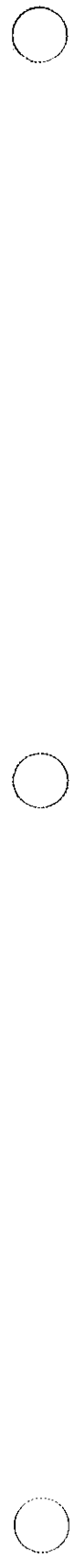
SHEET DESC.:  
 RENDERINGS

SHEET

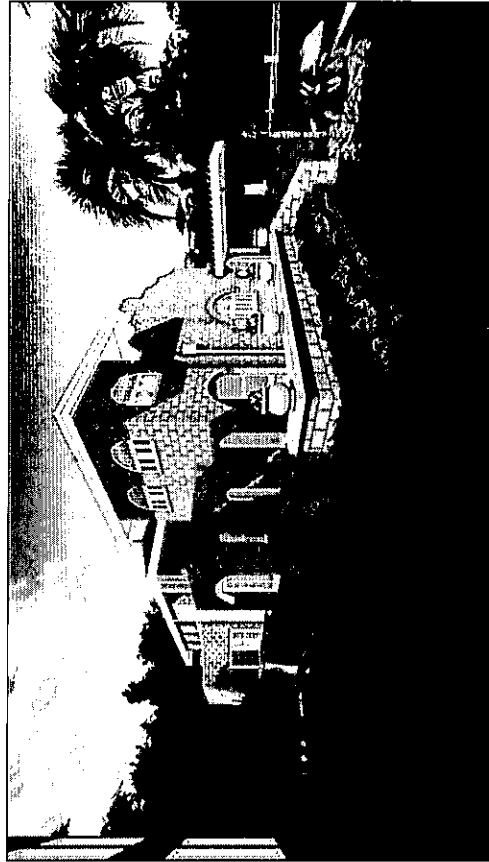
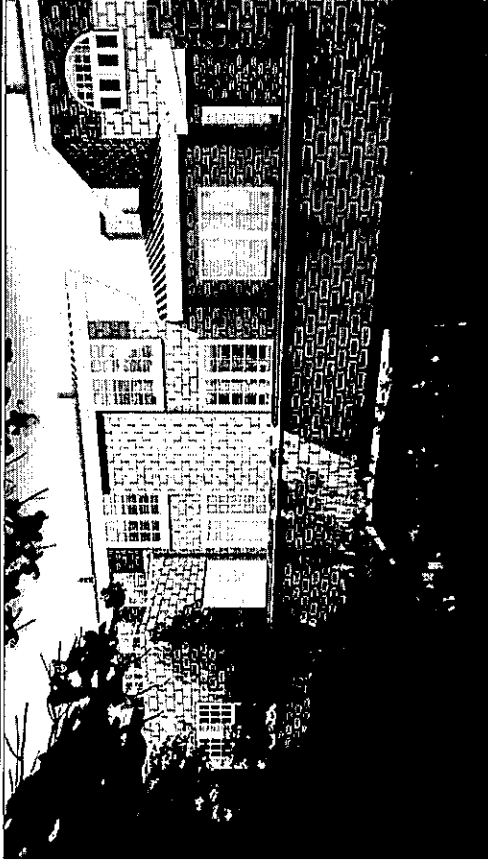
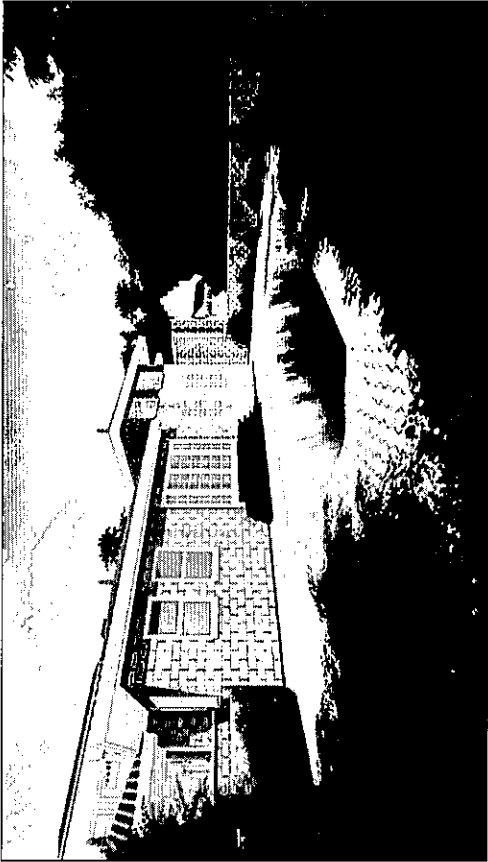
RI



RENDERINGS







RENDERINGS

DESIGNER:  
**PK**  
 PHIL KEAN  
 ARCHITECTURE  
 INTERIORS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FL 32209  
 TEL: 904-399-3933  
 FAX: 904-399-3933  
 WWW: WWW.PHILKEAN.COM

ENGINEER:

PROJECT:

GINGER HARRIS  
 1776 CHALLEN AVE.  
 JACKSONVILLE, FLORIDA

PLAN HISTORY

DATE	DESC.
9/27/17	CONCEPT

SHEET DATA:  
 DESIGNED BY:  
 PHIL KEAN  
 DRAWN BY:  
 JOHN CROOK

SHEET DESC.:

RENDERINGS

SHEET

R2

**HARRIS RESIDENCE****EXISTING SQUARE FOOTAGE CALCS**

1<sup>st</sup> Level      1920 SF  
2<sup>nd</sup> Level      344 SF

TOTAL A/C    2264 SF

GARAGE      538 SF

TOTAL UNDER ROOF      2802 SF

**NOTE**

As a result of the renovation/addition, the existing sun porch will be eliminated. This was an addition that was done to the residence many years ago. This sun porch will remove approximately 204 square feet from the residence.

**NEW SQUARE FOOTAGE CALCS**

1<sup>st</sup> Level      1134 SF  
2<sup>nd</sup> Level      1027 SF

TOTAL A/C    2161 SF

Garage      393 SF

**NOTE**

The new garage is 145 SF smaller than the existing garage. The effective new square footage is 1812 SF.

From: David Stone david@philkeandesigns.com  
 Subject: RE: Latest Harris  
 Date: October 5, 2017 at 12:14 PM  
 To: David S Rinzler drinz@mac.com, John Cronk John@philkeandesigns.com



David,

There were several items that were brought up by the board:

1. The height of the addition.
2. The overhang at the garage.
3. The prominence of the addition over the existing parapet.

All of these have been addressed:

1. The addition has been dropped to 26'-0" above grade. That was accomplished by lowering the ceilings to 9'-4" in the addition and vaulting the ceilings upstairs.
2. The overhang at the garage has been decreased to not overhang the property line. We will provide this on the Site Plan for clarification.
3. The elevation has been adjusted to better depict the addition being pushed back from the overall front elevation. This also shows in the renderings.

Please let me know if we are missing any items.

Thank you,

**David Christopher Stone, AIA, NCARB, Director of Design**  
[David@PhilKeanDesigns.com](mailto:David@PhilKeanDesigns.com)



**PHIL KEAN**  
 ARCHITECTURE

[PhilKeanDesigns.com](http://PhilKeanDesigns.com) | [Facebook](#) | [Houzz](#) | [Instagram](#)

---

From: David S Rinzler [mailto:drinz@mac.com]  
 Sent: Wednesday, October 04, 2017 6:54 PM  
 To: John Cronk <John@philkeandesigns.com>  
 Cc: David Stone <david@philkeandesigns.com>  
 Subject: Re: Latest Harris

David,

Since I believe you have the list of requested changes, I want to make sure we have addressed them all in as much as possible. Could you send me the list so I can redline the new plans and show the City we have attempted to address them all?

We need to show on the plans, I am guessing the site plan, that we have cut back the overhang so it does NOT hang over the property line.

The next few pages are emails and letters from community members regarding the application



**Mullins, Blair**

---

**From:** Popoli, Christian  
**Sent:** Tuesday, November 07, 2017 9:24 AM  
**To:** Historic Preservation  
**Cc:** Mullins, Blair  
**Subject:** FW: 1776 Challan Ave.

FYI

**Christian Popoli, MURP**  
 City Planner Supervisor  
 Community Planning Division, Historic Preservation Section  
 City of Jacksonville | Planning and Development Department  
 214 North Hogan Street, Suite 300  
 Jacksonville, FL 32202  
 (904) 255-7852  
[www.coj.net](http://www.coj.net)



Please Note: "Under Florida's very broad public records law, email communications to and from city officials are subject to public disclosure."

---

**From:** Popoli, Christian  
**Sent:** Monday, November 06, 2017 12:18 PM  
**To:** 'jmgjr5@gmail.com'  
**Cc:** Historic Preservation  
**Subject:** 1776 Challan Ave.

Mr. Gallagher,

I am Christian Popoli, the Supervisor for the Historic Preservation Section of Planning and Development.

We, as the Historic Preservation Section, appreciate you taking the time to speak out on your views for any application in your neighborhood. Public participation is the cornerstone of our process. As you've seen, our previous staff recommendation was for denial. The Commission book of reports and applications will be available this Friday, if you'd like to review it, on our website (link below). The hearing will be held on November 15<sup>th</sup>, at 3:00 p.m. Please attend if you would like your comments on the record. We can also supply the Commissioners with a letter, if you like, if you

cannot attend. Minutes of our meetings are available for review at any time, once they are transcribed by our court reporter.

If you have any questions, we're happy to help any way we can, please feel free to continue to email Blair or Lisa, or the general HP email box if you need anything.

Link to HP meeting book: <http://www.coj.net/departments/planning-and-development/community-planning-division/historic-preservation-commission>

Scroll down to the meeting book section.

**Christian Popoli, MURP**

City Planner Supervisor  
Community Planning Division, Historic Preservation Section  
City of Jacksonville | Planning and Development Department  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7852  
[www.coj.net](http://www.coj.net)



Please Note: "Under Florida's very broad public records law, email communications to and from city officials are subject to public disclosure."

**Mullins, Blair**

---

**From:** J <jmgjr5@gmail.com>  
**Sent:** Friday, November 03, 2017 4:22 PM  
**To:** Historic Preservation  
**Subject:** Re: 1776 Challen Ave-- Meeting 08-23-17

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

What do you think the chances are of this passing?

It is unfortunate that RAP is going along with this—they have completely lost credibility with many here over this- Strangely, the afternoon the day before the last hearing the RAP director called me & was very upset—she had just reviewed the plans & application & declared “this just is outrageous “ “please get as many neighbors informed & at the hearing tomorrow as they pay attention to this”. “She is trying to turn a one story house into one 3 stories in height & the materials do not even match...”, etc--Then, at the first Hearing she meets with the applicant in the hallway for a mere 2 min (without me being present) & does a TOTAL flip flop— and now she is seeming to act like some sort of cheerleader for this landmark destruction—VERY VERY weird that a “preservation” leader would do such a thing..

Do you think it would help the cause if I had TV reporters at the Hearing, or not?

Thanks-

John

On Nov 3, 2017, at 7:26 AM, Historic Preservation <[HistoricPreservation@coj.net](mailto:HistoricPreservation@coj.net)> wrote:

Hello Mr. Gallagher,

The applicant has provided hard copies of new plans (I am waiting on electronic versions from the architects). You will be able to see the official packet posted in the meeting book online (<http://www.coj.net/departments/planning-and-development/community-planning-division/historic-preservation-commission.aspx>) by the 13<sup>th</sup>.

Staff has reviewed the new plans, we have decided not to change our original recommendation. It is our opinion, even with the revisions (while appreciated) the addition will still have a negative impact on the historic landmark and it does not meet the Design Regs or the Secretary of the Interior’s Standards for Rehab.

The signs were reposted with a new date, in time for the November 15<sup>th</sup> hearing. Technically, we are not required to repost new signs with a new date (the old ones will do) but with the hurricane (I was

worried the old signs might have flown away) and the numerous opposition letters, I thought it best to repost signs with the updated date for transparency reasons.

Please let me know if you have further questions.

Ms. Blair Mullins

City Planner II-Community Planning Division- Historic Preservation Section

City of Jacksonville-Planning and Development Department

214 North Hogan Street, 3<sup>rd</sup> floor

Jacksonville, FL 32202

Email: [bmullins@coj.net](mailto:bmullins@coj.net)

Phone: (904) 255-7854

Fax: (904) 255-7885

[www.coj.net](http://www.coj.net)

Please Note: "Under Florida's very broad public records law, email communications to and from city officials are subject to public disclosure."

---

**From:** J [<mailto:jmgjr5@gmail.com>]

**Sent:** Thursday, November 02, 2017 7:11 PM

**To:** Historic Preservation

**Subject:** Re: 1776 Challen Ave-- Meeting 08-23-17

Dear Blair:

Can you tell me what is going on with this application? (I am sure meaningless & minor changes have been made to it).

She now has a meeting sign posted for 11/15 but I am under the understanding that the NOTICE OF PROPOSAL signs must be posted the entire time the application is pending—Is this correct?

Also has the staff entered its' recommendation yet? Also any inspection of the original dependency building, which she wants to tear down because of it's "condition"... ?

Thanks-

John Gallagher

On Aug 21, 2017, at 7:16 AM, Historic Preservation  
<[HistoricPreservation@coj.net](mailto:HistoricPreservation@coj.net)> wrote:

Thank you for the information. I can provide this email to the Jacksonville Historic Preservation Commissioners at the meeting so they can read it if you would like.

Ms. Blair Mullins



City Planner II-Community Planning Division- Historic Preservation  
Section  
City of Jacksonville-Planning and Development Department  
214 North Hogan Street, 3<sup>rd</sup> floor  
Jacksonville, FL 32202  
Email: [bmullins@coj.net](mailto:bmullins@coj.net)  
Phone: (904) 255-7854  
Fax: (904) 255-7885  
[www.coj.net](http://www.coj.net)

Please Note: "Under Florida's very broad public records law, email communications to and from city officials are subject to public disclosure."

---

**From:** J [<mailto:jmgjr5@gmail.com>]  
**Sent:** Friday, August 18, 2017 11:28 PM  
**To:** Historic Preservation  
**Subject:** 1776 Challen Ave-- Meeting 08-23-17

I live next door to the applicant (who has not informed me of her application for 2 story garage alteration, nor has she ever discussed any of this with me). Tonight while walking my dog, I happened upon your posted Meeting Notice sign.

Of course, since it will forever destroy/alter an original and vintage structure, I am opposed to the application on historic/ aesthetic/ architectural grounds.

Additionally, however, any such alteration and the attendant **huge** increase in the structure's elevation will completely destroy the total privacy which we enjoy in our back yard (and also cause a decrease in our property's value), so I am opposed to the application for these two reasons reason, as well.

In order to object to the application, is it required that the objection be only made at the meeting in person, or may I lodge my objections by letter ?

Best Regards-

John Gallagher, Attorney At Law  
3418 Riverside Avenue

**Mullins, Blair**

---

**From:** Adrienne Burke <adrienne@riversideavondale.org>  
**Sent:** Friday, October 20, 2017 10:30 AM  
**To:** Popoli, Christian; Mullins, Blair; Ginger Harris  
**Cc:** Keith Holt  
**Subject:** Ginger Harris/Challen Avenue COA

Good morning Christian and Blair,

Wanted to let you know I met with Ginger Harris yesterday (and she's copied here too), about the updates to her proposed addition.

As I had mentioned at the initial hearing on this case, my main concerns were with the height and scale. I also had as suggestions considering a bump out at the connection point of the original structure and the addition, and additional windows at the rear elevation of the addition.

After looking at the new plans, I feel more comfortable with the proposed addition being compliant with the Secretary of the Interior Standards and the district design guidelines as follows:

- 1) The height of the addition has been reduced so that it's now only 8" higher than the highest historic tower. To the naked eye, this difference won't be noticeable. Reviewing the updated 3D renderings that illustrate the addition from different vantage points at street level, the addition will not be visible from the facade view, and really only visible from the Riverside street view, and that will be minimal. I think it's also important to note that the addition is not being connected to the historic tower, so there is a visible gap between the tower and the new second story addition, plus it is set back a considerable distance from the facade. The addition is fully to the rear of the property as directed by the SOIS and guidelines.
- 2) I requested that Ginger detail out the actual square footage being added to the property as part of the addition. Because the garage square footage is already there, and she is losing the non-historic rear porch addition she did, the actual square footage being added is subordinate to the historic structure square footage. Seeing this clearly explained will help demonstrate compliance with the standards that the addition be subordinate in scale.
- 3) I'm less concerned about a bump out/bump in at the connection point, because the addition there is a change from one story on the original structure to two story for the addition. In my opinion, that satisfies the SOIS for differentiation of an addition.
- 4) The actual impact to the historic structure is only in one place and on the rear of the building, so it would be reversible in the future per the SOIS. The primary goal is protecting the original historic structure, and it is largely left intact as part of this project. The facade will have no changes.
- 5) A window has been added to the rear elevation. Given that this elevation is not visible, I'm less concerned about the windows there. The garage windows could be restored and put in should this be a concern of the JHPC.

I will be at the National Trust for Historic Preservation conference when this case is heard on November 15th. I'm glad to provide more formal comments in writing before then, and I am copying our Board Chair Keith Holt in the event he is able to attend in my place.

If you have any questions, please let me know.

--



Adrienne Burke  
Executive Director  
(904) 389-2449  
[riversideavondale.org](http://riversideavondale.org)  
Office: Tuesday-Friday, 10am-2pm  
Riverside Arts Market: Saturday, 10am-3pm  
[@preservationjax](https://twitter.com/preservationjax) [@riversideartsmarket](https://twitter.com/riversideartsmarket)

**October is RAP Member Month! Join now for a 15% discount and help us meet our matching goal thanks to a generous donor!**



**Mullins, Blair**

---

**From:** J <jmgjr5@gmail.com>  
**Sent:** Monday, October 16, 2017 3:11 PM  
**To:** Historic Preservation  
**Subject:** Re: 1776 Challen Ave-- Meeting 08-23-17

THANKS FOR LETTING ME KNOW— I appreciate this—

Also, the original 1908 dependency building (a landmark building which she wants to demolish) is in VERY good shape/very pretty & does NOT “*need to come down*” as the applicant testified at the previous meeting-

It is in better shape than our original garage building (which is in pretty good shape too) -which I would NEVER want demolished-

Also is the rap director still in favor of doing this to this landmark ? People here in Avondale are rather appalled by this & I think rap no longer has any credibility with many I have spoken to-

It sure is strange the day prior to the meeting (after she had reviewed the application & plans) she phoned me to declare: “This application is outrageous” “I can’t believe she wants to destroy this landmark”. “We cannot allow this to happen-please get as many neighbors at the meeting that you can- numbers matter with them.” “She wants to double its’ size and turn it into a 3 story in height house”

The next day, at the meeting the new rap director meets with the applicant for 2 minutes in the hallway & does a complete reversal of her position— I was shocked beyond belief & politely asked her why she had such a radical change of mind in just a 2 minute hallway conversation. She became testy & defensive & said: “This is Jacksonville and people can do whatever they want with their properties, whether you like it or not.”

Very odd-

John Gallagher

On Oct 16, 2017, at 8:11 AM, Historic Preservation <[HistoricPreservation@coj.net](mailto:HistoricPreservation@coj.net)> wrote:

Hello Mr. Gallagher,

The applicant’s for 1776 Challen Ave have requested to defer their application this month. They have informed me that they plan on submitting updated drawings by November 1<sup>st</sup> in preparation for the November 15<sup>th</sup> Jacksonville Historic Preservation Commission meeting. My plan is to ensure the

applicant is provided new public notice signs for the new date and of course ensure they are posted within the time frame. Thank you for your interest.

Ms. Blair Mullins

City Planner II-Community Planning Division- Historic Preservation Section

City of Jacksonville-Planning and Development Department

214 North Hogan Street, 3<sup>rd</sup> floor

Jacksonville, FL 32202

Email: [bmullins@coj.net](mailto:bmullins@coj.net)

Phone: (904) 255-7854

Fax: (904) 255-7885

[www.coj.net](http://www.coj.net)

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---

**From:** J [<mailto:jmgjr5@gmail.com>]

**Sent:** Sunday, October 15, 2017 3:31 PM

**To:** Historic Preservation

**Subject:** Re: 1776 Challen Ave-- Meeting 08-23-17

Lisa:

Could some one from your office drive by there, just to verify that there are no signs posted as required by law?

Thanks-

John Gallagher

On Oct 12, 2017, at 5:20 PM, Historic Preservation  
<[HistoricPreservation@coj.net](mailto:HistoricPreservation@coj.net)> wrote:

The public notice signs should stay posted until an action is taken. There is no requirement that they get new signs.

Sincerely,

**Lisa Sheppard, AICP, LEED® AP**

*Planner III*

Community Planning Division | Historic Preservation Section

City of Jacksonville | Planning and Development Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

(904) 255-7843

Fax: 904-255-7885

Email: [sheppard@coj.net](mailto:sheppard@coj.net)

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COMMUNICATIONS TO AND FROM CITY OFFICIALS ARE SUBJECT TO PUBLIC  
DISCLOSURE\*\*\*

---

**From:** J [<mailto:jmgjr5@gmail.com>]

**Sent:** Thursday, October 12, 2017 4:52 PM

**To:** Historic Preservation

**Subject:** Re: 1776 Challen Ave-- Meeting 08-23-17

Wouldn't the applicant have to post signs again for 14 days in advance?

On Oct 12, 2017, at 4:35 PM, Historic Preservation  
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COA items generally stay on the agenda until an action is taken or the application is withdrawn. The newspaper may just be going on what was anticipated at the last meeting when it was deferred, but of course Blair will have the latest information.

You can keep an eye out for the October agenda at <http://www.coj.net/departments/planning-and-development/community-planning-division/historic-preservation-commission.aspx> that is posted online the week of the meeting. If its definitely deferred, it should be noted as such. If it is listed on the regular agenda, you can reference the meeting book to see any revised drawings that have been added.

Sincerely,

**Lisa Sheppard, AICP, LEED® AP**

*Planner III*

Community Planning Division | Historic Preservation Section

City of Jacksonville | Planning and Development Department

214 North Hogan Street, Suite 300

Jacksonville, FL 32202

(904) 255-7843

Fax: 904-255-7885

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The riverside newspaper said it was on for October 25th—but I don't even see that you have a meeting on that date—

On Oct 12, 2017, at 3:30 PM, Historic Preservation <HistoricPreservation@coj.net> wrote:

John-  
 Blair is out of the office until Monday, but I have copied her so she can respond to you directly when she returns. Last I heard we had not received any revised drawings, but Blair is the main contact for this application so she will have more up to date information than I do.

Sincerely,

**Lisa Sheppard, AICP, LEED® AP**  
*Planner III*  
 Community Planning Division | Historic Preservation Section  
 City of Jacksonville | Planning and Development Department  
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**To:** Historic Preservation  
**Subject:** Re: 1776 Challen Ave-- Meeting 08-23-17

Blair:

Can you give me a n update on what is going on with this?

Is there currently another hearing set on this? I don't see such on your web site-

Thanks-

John Gallagher

On Aug 25, 2017, at 8:34 AM,  
Historic Preservation  
<[HistoricPreservation@coj.net](mailto:HistoricPreservation@coj.net)>  
wrote:

Hello Mr. Gallagher,

I hope your Friday is starting off well.

Please see my comments below to address your four listed concerns from your previous email:

1-Staff did not walk the detached garage as the application was recommended denial. If at a point there are plans submitted that may have staff change their recommendation, then we



would certainly walk the garage to see the "deterioration". That is why the staff report did not discuss the deterioration in detail because we do not have firsthand knowledge of the condition.

2-The signs were posted in time per the HP Ordinance. Our ordinance requires the blue public notice signs to be posted two weeks before the meeting. They were posted on 8-9-17.

3-I really can't speak to what RAP said at the meeting as we are not affiliated with them.

4-Below is a screen shot of the application description that was submitted by the applicant and the description of the work listed on the agenda. If that is not clear, we can certainly try to ensure the description is more clear on the agenda and public notice signs if the application is heard again next month.

If you would like, I can email you when I receive updated plans so you can review them ahead of time. Just an FYI (I think we discussed this before the meeting last week), everything that the applicant and staff compiles and that is sent to the Commissioners is posted on our website(<http://www.coj.net/departments/planning-and-development/community-planning-division/historic-preservation-commission.aspx>) under "Meeting Book" the Friday before the meeting so you can pull it up from home and review the submittal but you can always come down to our office and look at the hard copy file if the PDFs are too big. We try to make sure all items are available to public before the meeting so they can prepare.

<image001.jpg><image002.jpg>

Ms. Blair Mullins

City Planner II-Community  
 Planning Division- Historic  
 Preservation Section  
 City of Jacksonville-Planning and  
 Development Department  
 214 North Hogan Street, 3<sup>rd</sup> floor  
 Jacksonville, FL 32202  
 Email: [bmullins@coj.net](mailto:bmullins@coj.net)  
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 public records law, email communications  
 to and from city officials are subject to  
 public disclosure."

---

**From:** J [<mailto:jmgir5@gmail.com>]  
**Sent:** Thursday, August 24, 2017 5:15  
 PM  
**To:** Historic Preservation  
**Subject:** Re: 1776 Challen Ave--  
 Meeting 08-23-17

Dear Blair:

Since I was only given three minutes  
 to speak yesterday—there are some  
 points I was NOT able to make - that  
 the staff should know about:

1) The applicant lied about the  
 garage being in ruinous condition  
 and needing to be demolished-- and  
 this application is predicated upon  
 this being a fact .. **IT most certainly  
 IS NOT.** As she bragged while  
 testifying, she keeps her property in  
 good condition including the  
 dependency building. If it needs any  
 repairs on the inside, then she has  
 the resources to do such—as she  
 bragged about being such a “good  
 homeowner” and keeping things up  
 "so well" ..

**Perhaps the staff could  
 perform an inspection of the  
 dependency building when she  
 refiles this outrageous application  
 to architecturally bastardize and**

**partially destroy this landmark house.**

2.) The Meeting signs were only posted for about 5 days— A neighbor indicates 28 or 30 days is required- I have no idea what time is required & am sure you can tell me this.

3.) Something shockingly strange went on with the RAP woman who did a total 180 degree flip flop-cave in on this after the meeting started. Neither the plans nor the application changed, but she sure did in the time frame of just 5 minutes after she met in private briefly with the applicant— I was shocked & appalled. She refused to tell me what was said or done to cause her to do the flip flop—other than **“in Jacksonville owners can do anything they want with their properties.”** I said “I beg to differ”. This is a Florida’s largest Historic District.

I am at present notifying all the RAP Board members of what she did yesterday, so that on the next application there should I be an opposition from RAP and not a RAP recommendation for destruction of a designated 1909 landmark (oldest house in Avondale) that is pristine condition.

4.) The 2 line application on the web site that she filed stated that this was for something totally different than what she requested yesterday: **“reconstruct existing garage”** or some such—Nothing else was listed on the application she filed. Then, at the meeting all these plans are whipped out & we learn it is to destroy parts of the main house-destroy the dependency & put

up 2 huge new structures thus doubling the size of the house— New structures (of non matching materials) are to be about 20 feet taller than the existing main roof line (which is only one story). No one in the neighborhood knew what was really going on - but they now do. I expect lots of opposition besides myself and Mr. Fredenberger when she files her next application with its miniscule “compromises” of non sense—scaling back the proposed new SQF by 5%— placing the obtrusive new non matching buildings back another 12 inches from my property line — lowering the enormous 28’ height by 12 inches etc--etc—

I love this area & we moved here due to its architectural beauty so any assistance here will be greatly appreciated not just by me but by most people who live here— I do intend to notify every one in the area of what is going on and the Jax Historical Society & other organizations as this is so important.

If this goes through, this will be the end of any meaningful historical architectural regulation here. Other people will be able to get judges to order that they can destroy or double the sizes of their houses as this applicant wants to do-since/ if they allowed it on a designated landmark & the oldest house in Avondale. The Commission itself will be rendered powerless and meaningless by its own doing.

Many thanks-

John Gallagher  
3418 Riverside Ave

On Aug 21, 2017, at  
7:16 AM, Historic  
Preservation  
<[HistoricPreservation@coj.net](mailto:HistoricPreservation@coj.net)> wrote:

Thank you for the  
information. I can  
provide this email to  
the Jacksonville Historic  
Preservation  
Commissioners at the  
meeting so they can  
read it if you would like.

Ms. Blair Mullins  
City Planner II-  
Community  
Planning Division-  
Historic  
Preservation  
Section  
City of Jacksonville-  
Planning and  
Development  
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214 North Hogan  
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---

**From:** J  
[mailto:jmgjr5@gmail.com]  
**Sent:** Friday, August 18, 2017 11:28 PM  
**To:** Historic Preservation  
**Subject:** 1776 Challen Ave-- Meeting 08-23-17

I live next door to the applicant (who has not informed me of her application for 2 story garage alteration, nor has she ever discussed any of this with me). Tonight while walking my dog, I happened upon your posted Meeting Notice sign.

Of course, since it will forever destroy/alter an original and vintage structure, I am opposed to the application on historic/ aesthetic/ architectural grounds.

Additionally, however, any such alteration and the attendant **huge** increase in the structure's elevation will completely destroy the total privacy which we enjoy in our back

yard (and also cause a decrease in our property's value) , so I am opposed to the application for these two reasons reason, as well.

In order to object to the application, is it required that the objection be only made at the meeting in person, or may I lodge my objections by letter ?

Best Regards-

John  
Gallagher, Attorney  
At Law  
3418 Riverside  
Avenue

**Mullins, Blair**

---

**From:** J <jmgjr5@gmail.com>  
**Sent:** Thursday, October 12, 2017 5:39 PM  
**To:** Historic Preservation  
**Subject:** Re: 1776 Challen Ave-- Meeting 08-23-17

Several of us think that the signs for the previous meeting were not posted for 14 days, either--

On Oct 12, 2017, at 5:34 PM, Historic Preservation <[HistoricPreservation@coj.net](mailto:HistoricPreservation@coj.net)> wrote:

I've copied Blair so she is aware of the signage situation.

Sincerely,

**Lisa Sheppard, AICP, LEED® AP**

*Planner III*

Community Planning Division | Historic Preservation Section  
 City of Jacksonville | Planning and Development Department  
 214 North Hogan Street, Suite 300  
 Jacksonville, FL 32202  
 (904) 255-7843

Fax: 904-255-7885

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**From:** J [<mailto:jmgjr5@gmail.com>]  
**Sent:** Thursday, October 12, 2017 5:23 PM  
**To:** Historic Preservation  
**Subject:** Re: 1776 Challen Ave-- Meeting 08-23-17

They haven't been posted—there have been no signs posted there since the last meeting (and I am not sure even those were posted for 14 days )— I & others look every night-



On Oct 12, 2017, at 5:20 PM, Historic Preservation  
<[HistoricPreservation@coj.net](mailto:HistoricPreservation@coj.net)> wrote:

The public notice signs should stay posted until an action is taken. There is no requirement that they get new signs.

Sincerely,

**Lisa Sheppard, AICP, LEED® AP**

*Planner III*

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John Gallagher

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 City Planner II-Community  
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 City of Jacksonville-Planning and  
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Many thanks-

John Gallagher  
3418 Riverside Ave

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Thank you for the information. I can provide this email to the Jacksonville Historic Preservation Commissioners at the meeting so they can read it if you would like.

Ms. Blair Mullins  
City Planner II-  
Community  
Planning Division-  
Historic  
Preservation  
Section  
City of Jacksonville-  
Planning and  
Development  
Department



214 North Hogan  
Street, 3<sup>rd</sup> floor  
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Preservation  
**Subject:** 1776 Challen  
Ave-- Meeting 08-23-17

I live next door to  
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alteration, nor has  
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any of this with  
me). Tonight while  
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Notice sign.

Of course, since it  
will forever  
destroy/alter an  
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structure, I am  
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application on

historic/ aesthetic/  
architectural grounds.

Additionally, however, any such alteration and the attendant **huge** increase in the structure's elevation will completely destroy the total privacy which we enjoy in our backyard (and also cause a decrease in our property's value), so I am opposed to the application for these two reasons reason, as well.

In order to object to the application, is it required that the objection be only made at the meeting in person, or may I lodge my objections by letter ?

Best Regards-

John  
Gallagher, Attorney  
At Law  
3418 Riverside  
Avenue

**Mullins, Blair**

---

**From:** Mullins, Blair  
**Sent:** Wednesday, September 20, 2017 7:11 AM  
**To:** Lisa Burns; Love, James; info@avondaleriverside.org  
**Cc:** Mullins, Blair  
**Subject:** RE: 1776 Challen Ave.

Thank you for the email. I will ensure the Jacksonville Historic Preservation Commissioners receive it.

Ms. Blair Mullins  
 City Planner II-Community Planning Division- Historic Preservation Section  
 City of Jacksonville-Planning and Development Department  
 214 North Hogan Street, 3<sup>rd</sup> floor  
 Jacksonville, FL 32202  
 Email: [bmullins@coj.net](mailto:bmullins@coj.net)  
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 Fax: (904) 255-7885  
[www.coj.net](http://www.coj.net)

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**From:** Lisa Burns [<mailto:lmcburns@gmail.com>]  
**Sent:** Tuesday, September 19, 2017 4:41 PM  
**To:** HiistoricPreservation@coj.net; Love, James; info@avondaleriverside.org; Mullins, Blair  
**Subject:** 1776 Challen Ave.

We are 30 year residents of Avondale and are opposed to proposed changes to the 1909 Landmark home at 1776 Challen Ave.

We do not want to destroy its historical architecture or compromise the character of our unique neighborhood.

Thank you

Sincerely,

Lisa and Stephen Burns  
 1729 Edgewood Ave. South  
 Jacksonville, FL 32205

**Mullins, Blair**

---

**From:** Historic Preservation  
**Sent:** Tuesday, August 29, 2017 3:51 PM  
**To:** Joe R Miller  
**Cc:** joermiller82@gmail.com; Mullins, Blair  
**Subject:** RE: COA-17-797 RE: 1776 Challen Avenue, Jacksonville, FL 32205

Thank you for your email. We will ensure the Commissioners obtain a copy of it.

Ms. Blair Mullins  
 City Planner II-Community Planning Division- Historic Preservation Section  
 City of Jacksonville-Planning and Development Department  
 214 North Hogan Street, 3<sup>rd</sup> floor  
 Jacksonville, FL 32202  
 Email: [bmullins@coj.net](mailto:bmullins@coj.net)  
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---

**From:** Joe R Miller [<mailto:joermiller82@outlook.com>]  
**Sent:** Tuesday, August 29, 2017 3:44 PM  
**Cc:** joermiller82@gmail.com  
**Subject:** COA-17-797 RE: 1776 Challen Avenue, Jacksonville, FL 32205

I am writing you to express my concern over and voice my objection to the proposed changes to the 1909 Landmark designated home at 1776 Challen Avenue. This home is a beautifully constructed and well maintained structure with an architectural design unique to our community. It is very worthy of every protection available to RAP and in our City. Its preservation is vital if our community is to maintain its unique culture/history and diversity of styles and designs.

It is my understanding that the proposed changes to the house will significantly alter the appearance, shape, presence, as well, as its historical pedigree; not to mention set a horrible precedent for any future preservation efforts in our neighborhood and community. Accordingly, I request you please deny this action.

Thank you for your consideration in this matter.

Best wishes,

*Joe R. Miller*



**JOE R. MILLER**

**COLONEL, U.S. ARMY (RETIRED)**

1744 Challen Avenue

Jacksonville, FL 32205

Email1: [joermiller82@gmail.com](mailto:joermiller82@gmail.com)

Email2: [joermiller82@Outlook.com](mailto:joermiller82@Outlook.com)

Email3: [joermiller@aol.com](mailto:joermiller@aol.com)

Home Ph: 904.551.4780

Cell Ph: 484.678.9898



**Mullins, Blair**

---

**From:** Sheppard, Lisa  
**Sent:** Tuesday, August 29, 2017 2:54 PM  
**To:** Taryn Rodriguez-Boette; Emily Lisska  
**Cc:** Mullins, Blair  
**Subject:** RE: COA-17-797 --Jax Historic Preservation Commission / 1776 ChallenAve.

Thanks Taryn for passing this email correspondence along. I have copied Blair Mullins in our office who is handling this application so she can copy this for the file and follow-up if needed.

Sincerely,

**Lisa Sheppard, AICP, LEED® AP**

*Planner III*

Community Planning Division | Historic Preservation Section  
 City of Jacksonville | Planning and Development Department

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**From:** Taryn Rodriguez-Boette [<mailto:archives@jaxhistory.org>]  
**Sent:** Tuesday, August 29, 2017 1:57 PM  
**To:** Sheppard, Lisa; Emily Lisska  
**Subject:** FW: COA-17-797 --Jax Historic Preservation Commission / 1776 ChallenAve.

Hello Lisa and Emily;

I received this e-mail from John Gallagher which is a neighbor in Avondale. I don't think we can help but I want to share it just in case.

Taryn Rodriguez-Boette, Associate Director  
 Jacksonville Historical Society  
[archives@jaxhistory.com](mailto:archives@jaxhistory.com)  
 904-374-0296

**From:** J [<mailto:jmgjr5@gmail.com>]  
**Sent:** Tuesday, August 29, 2017 12:17 PM  
**To:** Taryn Rodriguez-Boette <[archives@jaxhistory.org](mailto:archives@jaxhistory.org)>  
**Subject:** Re: COA-17-797 --Jax Historic Preservation Commission / 1776 ChallenAve.

John Gallagher  
 3418 Riverside Avenue

Thanks

On Aug 29, 2017, at 10:55 AM, Taryn Rodriguez-Boette <[archives@jaxhistory.org](mailto:archives@jaxhistory.org)> wrote:

Good morning;

I would love to know to whom I am e-mailing since your e-mail was not signed. As soon as you let me know, I will forward your e-mail to various members of our board. They are in NO position to help you directly but, might be able to advise you on a course of action.

Taryn Rodriguez-Boette, Associate Director  
 Jacksonville Historical Society  
[archives@jaxhistory.com](mailto:archives@jaxhistory.com)  
 904-374-0296

**From:** J [<mailto:jmgjr5@gmail.com>]

**Sent:** Friday, August 25, 2017 4:13 PM

**To:** [archives@jaxhistory.org](mailto:archives@jaxhistory.org)

**Subject:** COA-17-797 --Jax Historic Preservation Commission / 1776 ChallenAve.

The neighbor at (Challen/Riverside- highly visible corner) has an application pending in their 1909 Landmark- designated house (for which they pay the City very little in taxes because of this designation- also **the oldest house/structure in Avondale**) to **demolish portions of the main house & also the entire dependency building & put up 2 huge 28 foot tall, non- matching new buildings up— Which, if approved , would Change their square footage from approx. 2300 to 4903— virtually doubling the size of their house!** With the new structures being 3 feet taller than the roofs on the existing decorative towers & decorative extension—

The proposed new height of the two approx. 2000 SQF additions/new buildings would be about 15 feet higher than that of the first story main roof line that exists now—

Applicant & her Winter Park architects also admitted under oath that **none of the new materials to build the huge new structures would match the existing coquina block construction**, since this unique historical construction block is no longer even available.

Applicant tried to do all this without any single discussion or single mentioning of the project to us or other neighbors affected (yet she wants to put up a huge 28" tall new building a mere 2 feet from our property line—towering into our back yard & ruining our privacy). The application states that it was for “renovating the existing garage & reconstruction & rear building” or some such nebulous sounding thing—when in fact it was for tearing it down completely & tearing down part of the main house & putting up 2 huge new 28" tall structures made of materials that don't even match the existing materials, which one sees when reviewing the actual plans.

She stated (under oath at the Hearing on the 23rd) that the dependency/garage was in deplorable shape & had to come down because of its “condition”—and yet she testified about how well she keeps her property up—It is in true fact in fine condition I think (although I have never been inside it)—far better than ours is, I think. You can see this when you walk past it. If it needs any interior repairs, she has the financial resources to make any if she can afford to double the size of this house. Instead of doing this to this landmark, the applicant should just buy a larger house since, that's what she wants. This is a far more sensible & less radical solution.

The Commission's staff recommended a total denial—no qualifications—no condition--just a TOTAL DENIAL. With RAP going along with this, The Commission was not going to approve anything & Ryan Davis was particularly strong on this, much to his credit.

Before the meeting, the RAP Director voiced a total opposition as per staff recommendation—& no conditions. She met with the applicant without me being present for 3-4 minutes in the hallway (would not tell me what was said or done and was snappy and defensive when I politely asked her) & then shortly thereafter told the Historic Preservation Commission that “she no longer opposed it”. I nearly fell over in shock --Neither the plans nor the application changed in the



interval, but the RAP director sure did & it was all very highly shocking to me. I am notifying all the RAP board members of this situation. I think they need & deserve to know. I seriously doubt any of them would want any of this approved, but at least they should know about such an important matter.

Had she stuck to her guns & protected the RAP District and this LANDMARK- the Commission was going to most definitely vote a DENIAL. I was certain of this. Once she flipped to the other side, two members (mainly David Case) started talking about tiny reductions of size & set back & very minuscule “compromises” I regarded as giving into the application (as long as minuscule changes are made in her next request). The day before the meeting (and after she had reviewed everything attached to the application this very same RAP director was imploring me to get all neighbors involved to object, as she stated she was going to “strongly oppose it”. **“Too important to let this happen to this landmark”** she stated.

Applicant had loads of architects & builders & engineers all speak for the allowed 3 min—amounting to about a large amount of time—I had a mere 3 min & they would not allow me my requested extension, I asked for since this is such a critical issue & I needed at least 10 minutes time. I made my 2 best points (I had 14 I had intended to make).

My strongest point was:

I am an attorney & if they grant this, they will be rendering their own positions & their own Commission meaningless & powerless since this is a landmark house in pristine condition which requires that any changes to it be given the very highest level of scrutiny & protection.

**If this is granted, in the future any person who owns any structure in any historic district (not just Avondale) can tear down or also double the size of their house ( as this applicant wants to do)-or even build some hideously ugly McMansion in its place by just applying to the Courts. If this is approved on a LANDMARK (which are given the highest level of protection & scrutiny relative to even very minor alterations), all judges would then in all all future cases have to give**

credence to this horrific precedent and allow almost anything requested especially since most all other houses in Avondale & Riverside are not designated **LANDMARKS**.

The Historic Preservation Commission's future denials and its decisions and actions would be then rendered meaningless. I think they all took in this point - as most probably like having their power & positions & I knew this to be my strongest point, knowing that some members may not be preservation minded at all (even though this is the "Historic Preservation" Commission). .. and I am not sure that any of them even live in our area, but I don't know.

Ryan Davis ( a San Marco builder no less) agreed with this 100% & moved for total rejection of application w/no conditions— Another guy quickly seconded it & they were raising their hands to vote it down when the applicant rose up & asked to withdraw it— After it was withdrawn, several members (Case mainly) talked extensively about inconsequential "compromise" changes like lowering this from 28 to 27" feet--

reducing the square footage of the non matching additions by some 5% or such—just item after item of what I thought was not at all meaningful.

**IMO, They were talking this way ONLY because of the RAP director's flip flop to the applicant's side on of a landmark designated house, no less.—** So I am sure this is just round one—

The two neighbors who face the applicant's house ( neighbors who live in side by side homes on Oak & Challen & directly face the driveway area where one of the new non matching buildings is being planned) are strongly objecting & also making calls to various people.

But, it is going to require involvement of many other people and groups to stop this, especially Councilman Love, (who lives very close by) , who I assume could be the most effective person here in stopping such an outrageous thing from happening and protect Avondale. Few people so far even know this is going on, but efforts are being made to notify every one in the area.

**Mullins, Blair**

---

**From:** Popoli, Christian  
**Sent:** Tuesday, August 29, 2017 1:04 PM  
**To:** J  
**Cc:** Mullins, Blair  
**Subject:** RE:

Generally the Historic Preservation Section agrees that there are serious concerns with the design, as we have issued a recommendation for denial. We did not get into the specific details of things such as the style of block, or concerns with detail such as window placement or the like. A denial recommendation is not conditional. The changes would have to be substantial enough that the final design would be significantly different. We strive to avoid redesigning the project.

If you feel strongly about this application, as an adjoining property owner, I would recommend that you attend the public hearing, so the Historic Preservation Commission can hear your concerns and consider them in their final decision. If you feel you will be unable to attend the meeting, you're welcome to submit a letter to staff, and we can forward that on to the Commission prior to the meeting.

Christian Popoli, MURP  
 City Planner Supervisor  
 Community Planning Division, Historic Preservation Section City of Jacksonville | Planning and Development Department  
 214 North Hogan Street, Suite 300  
 Jacksonville, FL 32202  
 (904) 255-7852  
[www.coj.net](http://www.coj.net)

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-----Original Message-----

**From:** J [mailto:jmgjr5@gmail.com]  
**Sent:** Tuesday, August 29, 2017 12:49 PM  
**To:** Popoli, Christian  
**Subject:** Re:

Yes, it's a landmark- designated house (oldest in Avondale) that the owner wants to DOUBLE in size 2300 SQF to 4900 SQF— by putting up two 28' tall new buildings/ additions--(without any mention or discussion with/ to me or other neighbors affected)- both 1909 buildings are in great condition-the main house & the dependency--

The new buildings she wants are not even to be of the same coquina block construction as it is no longer even available. I think both proposed new 28' tall buildings (15' feet or so over the first story primary roof line) are listed to be about 2' from the property lines involved- one is mine—the other is another neighbor -who I don't think even knows about this yet...

> On Aug 29, 2017, at 12:36 PM, Popoli, Christian <CPopoli@coj.net> wrote:

>

> So, for Avondale, the situation is a little more complicated. As this is a historic district, there are certain allowances to address the historic conditions, many of which do not meet what the current zoning code would allow, but to encourage compatibility, new construction is allowed to mimic the historic setbacks to better blend in. The side and front setbacks are based on the surrounding historic properties. Current zoning would typically require a 20 foot front setback. In most cases, this would be out of scale with that one would typically find in the district, where the front of the house is much closer to the street.

>

> Generally, it would depend what the adjacent and nearby structures have for setbacks, and staying reasonably consistent with those setbacks, on the average. This is true both from a zoning perspective as well as what we do in preservation. Basically, they are to match, as close as they can, the setbacks of the other homes on the block, both front and sides. Rear would be 10 feet. If there are existing structures, the requirement for separation is one of fire code requirements and building code requirements. I'm not an expert on that. My understanding is, that there are ways you can have structures that close together, but there are other structural requirements they would have to meet. Again, I'm not the expert here, so for a definite answer, I'd recommend checking with the Fire Marshal and a Building Official.

>

> I believe you're referring to the 1776 Challan Street request. It's important to note that this is a corner lot. Corner lots have two front setbacks, as they front on two streets by definition, and two side setbacks. So in this case, the prevailing zoning overlay for Riverside/Avondale would allow, potentially, some leeway. I am not aware if zoning has reviewed this request, but they will have to review and sign off on any proposed construction plans, so if they find it does need some additional approval, it would be addressed at that time. If they were found to need some relaxation of the setback issue, they would most likely go through the Administrative Deviation process. Historic preservation deals specifically with design, not zoning or construction codes.

>

> I hope this helps, I'm sorry if I wasn't clear on your question from the first email. As you can see, it's a complicated answer to what seems like a simple question.

>

> I've copied Blair and Autumn Martinage, Autumn is with Current Planning, and they handle all zoning requests.

>

>

> Please let me know if I can help in any way further.

>

>

>

> Christian Popoli, MURP  
 > City Planner Supervisor  
 > Community Planning Division, Historic Preservation Section City of  
 > Jacksonville I Planning and Development Department  
 > 214 North Hogan Street, Suite 300  
 > Jacksonville, FL 32202  
 > (904) 255-7852  
 > www.coj.net

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> -----Original Message-----

> From: J [mailto:jmgjr5@gmail.com]  
> Sent: Tuesday, August 29, 2017 12:19 PM  
> To: Popoli, Christian  
> Subject: Re:

>  
> What about for Avondale if 2 brand new structures are being proposed & both are 2' from the neighbor's property line?

>  
> Isn't there an 8 or 10' set back requirement?

>  
>  
>  
>  
>  
>> On Aug 29, 2017, at 7:58 AM, Popoli, Christian <CPopoli@coj.net> wrote:

>>  
>> So, if we are in traditional zoning, the setbacks for accessory structures are the same as the primary structure. These setbacks would be based on the specific zoning of the property. If we're in one of the historic districts it's one foot off the eaves of the accessory structure.

>>  
>> Christian Popoli, MURP  
>> City Planner Supervisor  
>> Community Planning Division, Historic Preservation Section City of  
>> Jacksonville I Planning and Development Department  
>> 214 North Hogan Street, Suite 300  
>> Jacksonville, FL 32202  
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>> -----Original Message-----  
>> From: J [mailto:jmgjr5@gmail.com]  
>> Sent: Monday, August 28, 2017 4:56 PM  
>> To: Popoli, Christian  
>> Subject: Re:

>>  
>>  
>> Christian:

>>  
>> What about if the project is for entirely new buildings 2 feet from  
>> neighbor's property line & not a garage add on? — isn't there a 10"  
>> set back requirement





**Mullins, Blair**

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**From:** J <jmgjr5@gmail.com>  
**Sent:** Friday, August 25, 2017 2:02 PM  
**To:** Historic Preservation  
**Subject:** Re: 1776 Challen Ave-- Meeting 08-23-17

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Thanks so much— your office is so professional & I appreciate the prompt response.-

1.) The signs may have been posted on 8-9-17 (very briefly if they were on that date ) but they were then probably taken down, as we noticed that they were not there until about 4 days before the meeting & we walk our dogs past there every evening & would know (as does another neighbor who also indicated to me yesterday that he noticed there were no signs posted until about 4 days before before the meeting).

2.) The application does not accurately describe the true scope of the work in order that people would have any idea of what is going on here—so, no adequate notice was given on this point either. It does not state that the applicant plans that parts of the main landmark house be destroyed- that the dependency is to be destroyed -or that the house is to be doubled in size. It makes it seem like this destruction of a landmark is just some minor involvement with the garage & mentions nothing about destroying it & also part of the house.

3.)What organizations might be interested in what is going on here? Jax Historical Society ? Others? We recently moved here (because of the Historic Preservation in the Florida;s largest Historic District— How Ironic...) Many neighbors have just now found out what is going on & I do expect there to be quite a bit of opposition to this & support of your staff's recommendation. Several were irked at me for not having gotten them involved or notified & basically fighting round one all alone—but I really did not have time to let people know what was going on given the above 2 items.

Have you any contact info for Wayne Wood? Or , any other preservationists who care about Avondale-Riverside & what happens to it?

(I will not share your communications to me with any else without your permission)

Thanks-

John



On Aug 25, 2017, at 8:34 AM, Historic Preservation <[HistoricPreservation@coj.net](mailto:HistoricPreservation@coj.net)> wrote:

Hello Mr. Gallagher,

I hope your Friday is starting off well.

Please see my comments below to address your four listed concerns from your previous email:

1-Staff did not walk the detached garage as the application was recommended denial. If at a point there are plans submitted that may have staff change their recommendation, then we would certainly walk the garage to see the "deterioration". That is why the staff report did not discuss the deterioration in detail because we do not have firsthand knowledge of the condition.

2-The signs were posted in time per the HP Ordinance. Our ordinance requires the blue public notice signs to be posted two weeks before the meeting. They were posted on 8-9-17.

3-I really can't speak to what RAP said at the meeting as we are not affiliated with them.

4-Below is a screen shot of the application description that was submitted by the applicant and the description of the work listed on the agenda. If that is not clear, we can certainly try to ensure the description is more clear on the agenda and public notice signs if the application is heard again next month.

If you would like, I can email you when I receive updated plans so you can review them ahead of time. Just an FYI (I think we discussed this before the meeting last week), everything that the applicant and staff compiles and that is sent to the Commissioners is posted on our website(<http://www.coj.net/departments/planning-and-development/community-planning-division/historic-preservation-commission.aspx>) under "Meeting Book" the Friday before the meeting so you can pull it up from home and review the submittal but you can always come down to our office and look at the hard copy file if the PDFs are too big. We try to make sure all items are available to public before the meeting so they can prepare.

<image001.jpg><image002.jpg>

Ms. Blair Mullins

City Planner II-Community Planning Division- Historic Preservation Section

City of Jacksonville-Planning and Development Department

214 North Hogan Street, 3<sup>rd</sup> floor

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**From:** J [<mailto:jmgjr5@gmail.com>]

**Sent:** Thursday, August 24, 2017 5:15 PM

**To:** Historic Preservation

**Subject:** Re: 1776 Challen Ave-- Meeting 08-23-17

Dear Blair:

Since I was only given three minutes to speak yesterday—there are some points I was NOT able to make - that the staff should know about:

1) The applicant lied about the garage being in ruinous condition and needing to be demolished-- and this application is predicated upon this being a fact .. **IT most certainly IS NOT.** As she bragged while testifying, she keeps her property in good condition including the dependency building. If it needs any repairs on the inside, then she has the resources to do such—as she bragged about being such a “good homeowner” and keeping things up "so well"..

**Perhaps the staff could perform an inspection of the dependency building when she refiles this outrageous application to architecturally bastardize and partially destroy this landmark house.**

2.) The Meeting signs were only posted for about 5 days— A neighbor indicates 28 or 30 days is required- I have no idea what time is required & am sure you can tell me this.

3.) Something shockingly strange went on with the RAP woman who did a total 180 degree flip flop-cave in on this after the meeting started. Neither the plans nor the application changed, but she sure did in the time frame of just 5 minutes after she met in private briefly with the applicant— I was shocked & appalled. She refused to tell me what was said or done to cause her to do the flip flop—other than **“in Jacksonville owners can do anything they want with their properties.”** I said “I beg to differ”. This is a Florida’s largest Historic District.

I am at present notifying all the RAP Board members of what she did yesterday, so that on the next application there should be an opposition from RAP and not a RAP recommendation for destruction of a designated 1909 landmark (oldest house in Avondale) that is pristine condition.

4.) The 2 line application on the web site that she filed stated that this was for something totally different than what she requested yesterday: **“reconstruct existing garage”** or some such— Nothing else was listed on the application she filed. Then, at the meeting all these plans are whipped out & we learn it is to destroy parts of the main house-destroy the dependency & put up 2 huge new structures thus doubling the size of the house— New structures (of non matching materials) are to be about 20 feet taller than the existing main roof line (which is only one story). No one in the neighborhood knew what was really going on - but they now do. I expect lots of opposition besides myself and Mr. Fredenberger when she files her next application with its miniscule “compromises” of non sense—scaling back the proposed new SQF by 5%— placing the obtrusive new non matching buildings back another 12 inches from my property line —lowering the enormous 28’ height by 12 inches etc--etc—

I love this area & we moved here due to its architectural beauty so any assistance here will be greatly appreciated not just by me but by most people who live here— I do intend to notify every one in the area of what is going on and the Jax Historical Society & other organizations as this is so important.

If this goes through, this will be the end of any meaningful historical architectural regulation here. Other people will be able to get judges to order that they can destroy or double the sizes of their houses as this applicant wants to do-since/ if they allowed it on a designated landmark & the oldest house in Avondale. The Commission itself will be rendered powerless and meaningless by its own doing.

Many thanks-

John Gallagher  
3418 Riverside Ave

On Aug 21, 2017, at 7:16 AM, Historic Preservation  
<[HistoricPreservation@coj.net](mailto:HistoricPreservation@coj.net)> wrote:

Thank you for the information. I can provide this email to the Jacksonville Historic Preservation Commissioners at the meeting so they can read it if you would like.

Ms. Blair Mullins  
City Planner II-Community Planning Division- Historic Preservation  
Section  
City of Jacksonville-Planning and Development Department  
214 North Hogan Street, 3<sup>rd</sup> floor  
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**From:** J [<mailto:jmgjr5@gmail.com>]  
**Sent:** Friday, August 18, 2017 11:28 PM  
**To:** Historic Preservation  
**Subject:** 1776 Challen Ave-- Meeting 08-23-17

I live next door to the applicant (who has not informed me of her application for 2 story garage alteration, nor has she ever discussed any of this with me). Tonight while walking my dog, I happened upon your posted Meeting Notice sign.

Of course, since it will forever destroy/alter an original and vintage structure, I am opposed to the application on historic/ aesthetic/ architectural grounds.

Additionally, however, any such alteration and the attendant **huge** increase in the structure's elevation will completely destroy the total privacy which we enjoy in our back yard (and also cause a decrease in our property's value), so I am opposed to the application for these two reasons reason, as well.

In order to object to the application, is it required that the objection be only made at the meeting in person, or may I lodge my objections by letter ?

Best Regards-

John Gallagher, Attorney At Law  
3418 Riverside Avenue

I am writing you to express my concern over and voice my objection to the proposed changes to the 1909 Landmark designated home at 1776 Challen Avenue. This home is a beautifully constructed and well maintained structure with an architectural design unique to our community. It is very worthy of every protection available to RAP and in our City. Its preservation is vital if our community is to maintain its unique culture/history and diversity of styles and designs.

It is my understanding that the proposed changes to the house will significantly alter the appearance, shape, presence, as well, as its historical pedigree; not to mention set a horrible precedent for any future preservation efforts in our neighborhood and community. Accordingly, I request you please deny this action.

Thank you for your consideration in this matter.

Best wishes,

*Joe R. Miller*

**JOE R. MILLER**

**COLONEL, U.S. ARMY (RETIRED)**

1744 Challen Avenue

Jacksonville, FL 32205

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